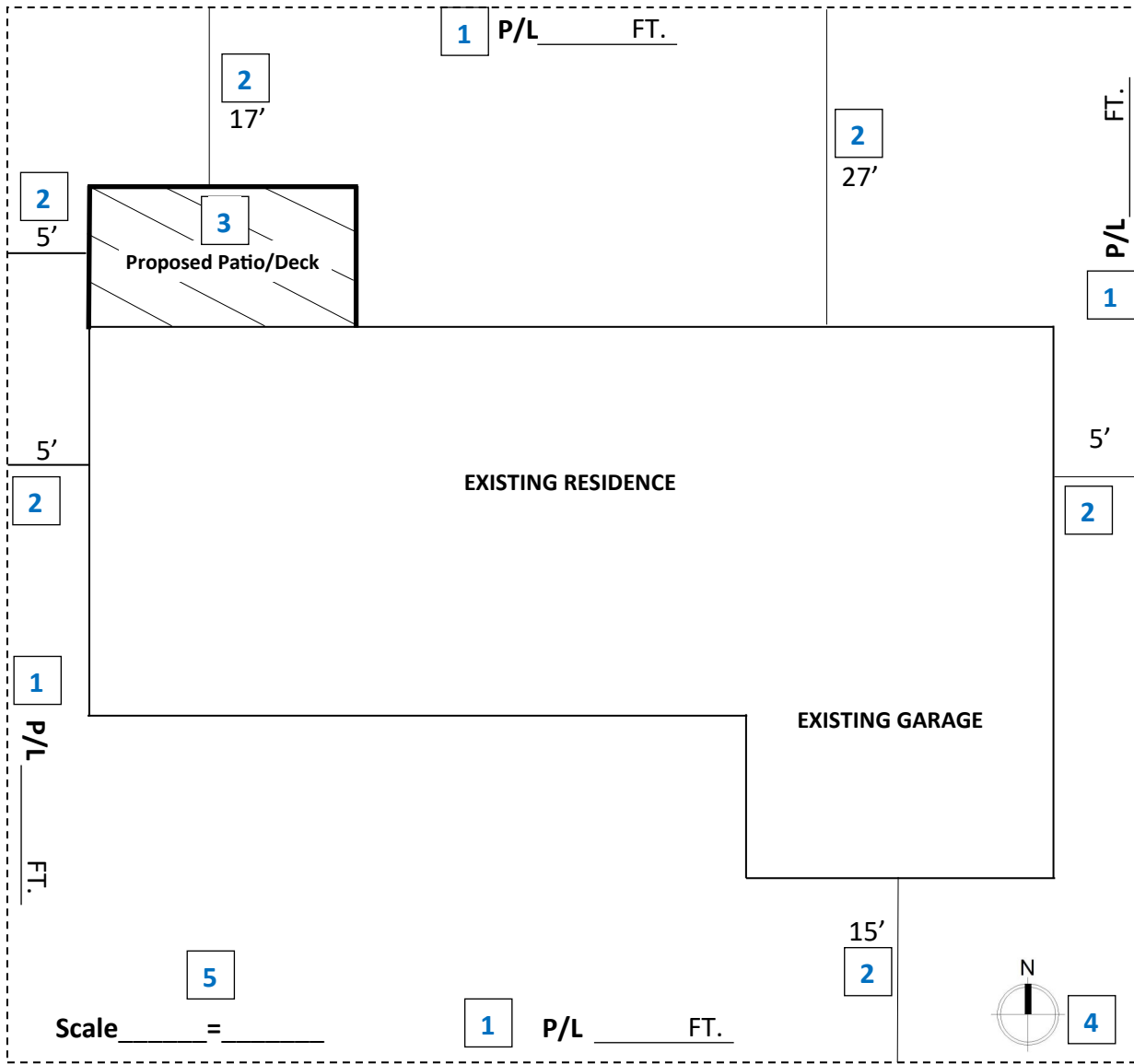




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## SITE PLAN INSTRUCTIONS - FORM 205



**SCOPE OF WORK:**

6

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**NAME OF PROJECT:**

**ADDRESS:**

**ZONE:**

**APN:**

7

### PLOT PLAN CHECKLIST

Review the correlating numbers on the sample plot plan and fill in the appropriate information.

- |  |   |
|--|---|
| <p><b>1</b> Accurate shape and dimensions of the entire property. Include property line dimensions.</p> <p><b>2</b> Setbacks from property lines from existing and proposed structure(s).</p> <p><b>3</b> Area of proposed work to be done. Include the total area and height of the proposed structure.</p> <p><b>4</b> North arrow (pointing up).</p> <p><b>5</b> Scale Bar.</p> | <p><b>6</b> Scope of work. Include details on all areas of proposed work.</p> <p><b>7</b> Property information. Include the name of project, property address, zoning designation, and APN.</p> |
|--|---|

## RESIDENTIAL DEVELOPMENT STANDARDS

Table 3.2 below specify standards for the development of property within residential districts; however, RP district standards marked with an asterisk shall be established by means of an approved precise plan for each project.

**TABLE 3.2**

DEVELOPMENT STANDARD		DISTRICT						
		RS-1 Rural residential	RS-2 Residential estate	RS-3 Single family	RS-4 Single family	RP Planned residential	RA Attached residential	RM Multi- family
Max. structure height (ft.)		35	35	35	35	35	35	35
Min. lot size (sq. ft.)		4 ac	8,000	3,000	3,000	*	2,000	n/a
Min. front yard setback (ft.)		20	17 <sup>1</sup>	17 <sup>1</sup>	17 <sup>1</sup>	*	17	n/a
Min. side yard setback (ft.) <sup>2</sup>		8	8	5	5	*	0/5 3	n/a
Min. rear yard setback (ft.)		25	25	15 <sup>4</sup>	10 <sup>4</sup>	*	10 <sup>4</sup>	n/a
Min. setback from tops and toes of slopes 2:1 or steeper and over 10' high (ft.) <sup>5</sup>	Main building	10	10	10	10	10	10	10
	>Accessory structures <sup>5</sup>	3	3	3	3	3	3	3
Min. driveway length (ft.) <sup>6</sup>		20 <sup>6</sup>	20 <sup>6</sup>	20 <sup>6</sup>	20 <sup>6</sup>	*	20 <sup>6</sup>	20 <sup>6</sup>
Min. common open area (% of net site area)		n/a	n/a	n/a	n/a	25 <sup>7</sup>	n/a	25 <sup>7</sup>
Min. perimeter setbacks (ft.)		n/a	n/a	n/a	n/a	10/25 <sup>8</sup>	n/a	10/25 <sup>8</sup>

\* RP standards shall be as shown on approved precise plan for each project. See appendix A.

<sup>1</sup> For setbacks for side-entry type garages, the front setback may be reduced to 10 feet for the garage portion only, in accordance with Sec. 9-1-35.4 (garages, carports, driveways).

<sup>2</sup> Min. side setback = 10 feet adjacent to streets.

<sup>3</sup> For RA attached dwellings, 0 feet on attached side and 5 feet min. on open side.

<sup>4</sup> Where a rear yard abuts a street, the rear setback shall be a minimum 20 feet.

<sup>5</sup> See Sec. 9-1-35.3 for additional development standards for accessory structures.

<sup>6</sup> Per Sec. 9-1-35.4, driveways for garages/carports must be min. 20 feet in length. See Sec. 9-1-63 (Residential parking requirements) for min. driveway widths.

<sup>7</sup> In accordance with Sec. 9-1-35.13.

<sup>8</sup> 10 feet min. at any point; 25 feet min. average over the entire perimeter. Exception: along scenic highways designated in the general plan, 25 feet min. at any point (measured from curblin) per Sec. 9-1-35.13.