CITY OF LAGUNA NIGUEL
GRADING SECTION
APPROVED

This set of plans & specifications must be kept on the job at all times and it is unlawful to make any changes or alterations on same without written permission by the City of Laguna Niguel.
The stamping of this plan & specifications SHALL NOT be held to permit or be an approval of the violation of any provisions of any City and County Ordinance or State Law.
This permit is an application for inspection the issuance of which is not an approval or an authorization for the work specified herein.
This permit does not authorize or permit, nor shall it be construed as authorizing or permitting the violation or failure to comply with applicable law. The City of Laguna Niguel, its boards, departments, officers, and employees, hereby expressly deny any warranty or responsibility for the design, construction, or operation of the work described, the condition of the property, or the soil upon which the work is undertaken. No statement by any officer, employee, or agent written or oral, can alter this denial.
This grading plan does not Allow or Approve ANY Construction within the dedicated Right of Way. A permit is required from the Department of Public Works for encroachment on the public Right of Way.

GRADING PERMIT # G19-0020 Revision 2
BY: kcrockett
DATE: 10/28/2022

☐ PRELIMINARY
NO BUILDING PERMITS SHALL BE ISSUED UNTIL THIS PERMIT IS SUPERSEDED BY A PRECISE GRADING PERMIT

☒ PRECISE
BUILDING PERMITS MAY BE ISSUED AFTER GRADING RELEASE

BUILDING MAINTENANCE AND OPERATION

At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building:

1. Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure.

2. Operation and maintenance instructions for the following:
a. Equipment and appliances, including water-saving devices and systems, HVAC systems, water-heating systems and other major appliances and equipment.
b. Roof and yard drainage, including gutters and downspouts.
c. Space conditioning systems, including condensers and air filters.
d. Landscape irrigation systems.
e. Water reuse systems.

3. Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations.

4. Public transportation and/or carpool options available in the area.

5. Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range.

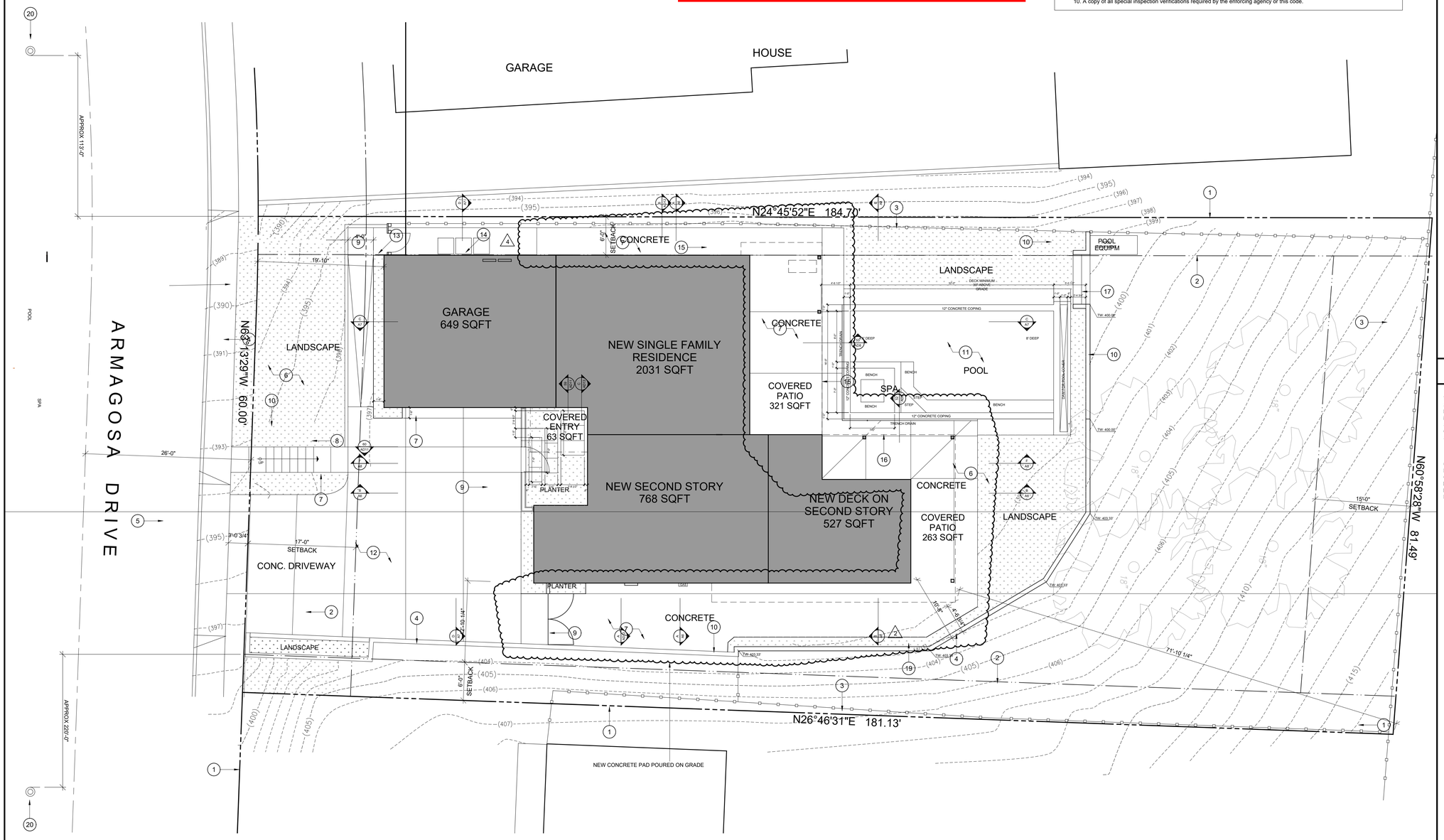
6. Information about water-conserving landscape and irrigation design and controllers which conserve water.

7. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation.

8. Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc.

9. Information about state solar energy and incentive programs available.

10. A copy of all special inspection verifications required by the enforcing agency or this code.



SITE PLAN

NORTH

SITE PLAN NOTES

1. PROPERTY LINE
2. BUILDING SETBACK LINE
3. EXISTING BOUNDARY WALL/FENCE TO REMAIN
4. LANDSCAPE WALL TO REMAIN
5. EXISTING SIDEWALK, CURB AND GUTTER TO REMAIN
6. LANDSCAPE AREA
7. CONCRETE FLATWORK-TOPCAST FINISH-COLOR SELECTED BY DESIGNER
8. CONCRETE STEPS ON GRADE
9. NEW LANDSCAPE WALL/FENCE WITH GATE
10. NEW LANDSCAPE WALL
11. SPA & LAP POOL UNDER SEPARATE PERMIT. LEAK DETECTION EQUIPMENT REQUIRED.
12. EXISTING DRIVEWAY AND APPROACH TO REMAIN
13. LOCATION OF 200 AMP ELECTRICAL PANEL
14. LOCATION OF GAS METER
15. LINE OF ROOF EAVE
16. LINE OF BALCONY ABOVE
17. CONCRETE PAVERS ON GRADE
18. LINE OF NEW 2ND STORY DECK
19. TOE OF SLOPE
20. FIRE HYDRANT LOCATION

ADDITIONAL NOTES

THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED.NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.

65% OF THE CONSTRUCTION AND DEMOLITION DEBRIS SHALL BE RECYCLED.UNLESS SELF-HAULED BY THE OWNER OR CONTRACTOR OF THE PROJECT, THE USE OF ANY WASTE HAULER OTHER THAN THE CITYS FRANCHISED HAULER, CR&R ENVIRONMENTAL SERVICES TO HAUL CONSTRUCTION DEBRIS IS PROHIBITED AND SUBJECT TO PERMIT SUSPENSION.

REVISIONS:
1 BLD'G 11/13/2019
2 PLNG 05/18/2020
3 OCFA 08/17/2020

PLANS PREPARED BY:
09/22/2022
DUSTIN MORRIS DATE:

1050 CALLE CORILLERA,
SUITE 102
SAN CLEMENTE,
CALIFORNIA 92673
(949) 245-8960

BARCIKOWSKI RESIDENCE
ARMAGOSA DRIVE

DESIGN

BARCIKOWSKI RESIDENCE
25091 ARMAGOSA DRIVE
LAGUNA NIGUEL,
CA 92677

PROJECT NAME: BARCIKOWSKI RESIDENCE
SCALE: 1/8" = 1'-0"
DATE: 09/22/2022

G4

GRADING LEGEND

A.C. – ASPHALT CONCRETE
A.P.W.A. – AMERICAN PUBLIC WORKS ASSOCIATION
A/U – AIRCONDITIONING UNIT
B.C. – BEGIN CURVE
B.F.F. – BASEMENT FINISH FLOOR ELEVATION
B.F.S. – BASEMENT FINISH SURFACE ELEVATION
B.M. – BENCH MARK
B.O.F. – BOTTOM OF FOOTING ELEVATION
B.O.S. – BOTTOM OF SLOPE ELEVATION
B.V.C. – BEGIN VERTICAL CURVE
B.W. – BACK OF WALK ELEVATION
C.B. – CATCH BASIN
C.F. – CURB FACE
C.I.P. – CAST IRON PIPE
C/L – CENTERLINE
C.L.F. – CHAIN LINK FENCE
C. & G. – CURB & GUTTER
C.O. – CLEANOUT
CONC. – CONCRETE
D/A – DRIVEWAY APPROACH
D.L. – DAYLIGHT LINE
D.S. – DOWN SPOUT
D.S.C.O. – DOWN SPOUT CLEAN-OUT
DWY. – DRIVEWAY
EBCA – EMERALD BAY COMMUNITY ASSOCIATION
EBSD – EMERALD BAY SERVICE DISTRICT
E.C. – END CURVE
E.V.C. – END VERTICAL CURVE
EX. – EXISTING
F.F. – FINISH FLOOR ELEVATION
F.H. – FIRE HYDRANT
F.L. – FLOWLINE ELEVATION
F.S. – FINISHED SURFACE ELEVATION
G.B. – GRADE BREAK
GEN. – GENERATOR
G.F.S. – GARAGE FINISH SURFACE ELEVATION
G.M. – GAS METER
H.L. – HOUSE LATERAL
H.P. – HIGH POINT ELEVATION
INV. – INVERT ELEVATION
L.P. – LOW POINT ELEVATION
M.B. – MAIL BOX
MH. – MANHOLE
M.M. – MISCELLANEOUS MAPS
M.O.C. – MIDDLE OF CURVE
O.H.W. – OVERHEAD WIRE(S)
P/A – PLANTER AREA
P.B. – PULL BOX
PKWY. – PARKWAY
P.L. – PROPERTY LINE
P.P. – POWER POLE
P.R.C. – POINT OF REVERSE CURVE
PVMT. – PAVEMENT
R.D. – ROOF DRAIN
R.L. – RIDGE LINE
R&R – REMOVE & REPLACE
R/W – RIGHT-OF-WAY
R.W.M. – RECLAIMED WATER METER
S.D. – STORM DRAIN
S.D.MH. – STORM DRAIN MANHOLE
S.G. – SUB-GRADE ELEVATION
T.O.SHTG. – TOP OF SHEATHING
S.MH. – SEWER MANHOLE
S.S. – SANITARY SEWER
STA. – STATION
S/W – SIDEWALK
T/A – TRASH AREA
T.B. – TOP OF BERM ELEVATION
T.B.D. – TO BE DETERMINED
T.B.M. – TEMPORARY BENCH MARK
T.C. – TOP OF CURB ELEVATION
T.F. – TOP OF FOOTING ELEVATION
T. FNC. – TOP OF FENCE ELEVATION
T.G. – TOP OF GRATE ELEVATION
T.O.C. – TOP OF CHIMNEY ELEVATION
T.O.G. – TOP OF GLASS ELEVATION
T.P. – TOP OF PILASTER ELEVATION
T.R.P. – TOP OF ROOF PARAPET ELEVATION
T.S. – TRAFFIC SIGNAL
T.W. – TOP OF WALL ELEVATION
V.C. – VETICAL CURVE
V.P. – VINE POCKET
W.I. – WROUGHT IRON
W.M. – WATER METER
W.V. – WATER VALVE
H.O.A. – HOMEOWNERS' ASSOCIATION
– PROPOSED 4"ø PERFORATED SUBDRAIN PIPE
– PROPOSED 4"ø SOLID SUBDRAIN PIPE
– PROPOSED 3"ø PVC PIPE
– PROPOSED 4"ø PVC PIPE
– PROPOSED 6"ø PVC PIPE
87.00 INV. – PROPOSED SUBDRAIN PIPE ELEVATION
– PROPOSED OVER-EXCAVATION AREA

OWNER:
MR. & MRS. BARCIKOWSKI
25091 Armagosa Drive
Laguna Niguel, CA 92677
Phone (256) 656-9924

ARCHITECT:
EYOH DESIGN
134 Avenida Mateo
San Clemente, CA 92672
Phone (949) 245-8960

SOILS ENGINEER:
South Coast Geotechnical Services
24632 San Juan Avenue, Suite 100
Dana Point, CA 92629
Phone (949) 374-4100

STRUCTURAL ENGINEER:
COASTLINE ENGINEERING, INC.
Phone (760) 436-1344
www.CoastlineEngInc.com

CIVIL ENGINEER:
RGA CONSULTANTS, INC.
34 Georgetown
Irvine, CA 92612
Phone (949) 509-0909
Fax (949) 509-0901

BASIS OF BEARINGS:
Bearings shown hereon are based on the bearing N 63°13'29" W of the centerline of Armagosa Drive as shown on Tract No. 4906, M.M. 199/26-35, Records of Orange County, California.

CITY OF LAGUNA NIGUEL STANDARD GRADING NOTES

1. All work shall be in accordance with the Grading Code of the City of Laguna Niguel and any special requirements of the permit. A copy of the Grading Code and Manual shall be retained on the job site while work is in progress. When referenced on the plans, a copy of OC Public Works Standard Plans shall also be retained on the site.

2. Grading shall not be started without first notifying the City Grading Inspector, a pre grading meeting on the site is required before start of grading with the following people present: Owner, Grading Contractor, Design Civil Engineer, Soil Engineer, Geologist, City Grading Inspector and when required the Archaeologist and Paleontologist. The required inspections for grading will be explained at this meeting.

3. An approved copy of the Grading Plan shall be on the permitted site while work is in progress.

4. Cut and fill slopes shall be no steeper than 2 foot horizontal to 1 foot vertical (2:1).

5. Fills shall be compacted throughout to a minimum of 90% relative density. Aggregate base for asphaltic areas shall be compacted to minimum of 95% relative density. Maximum density shall be determined by California Building Code Standard No. 70-1 or approved equivalent, and field density by California Building Code Standard No. 70-2 or approved equivalent.

6. Areas to receive fill shall be properly prepared and approved in writing by the Soil Engineer and the Building Official prior to placing fill.

7. Fills shall be benched into competent material per OC Public Works Standard Plan No. 1322.

8. All existing fills shall be approved by the Building Official or removed prior to placing additional fills.

9. Any existing irrigation lines and cisterns shall be removed, or crushed in place, and approved by the Building Official and Soil Engineer.

10. Stockpiling of excess material shall be approved by the Building Official prior to excavation.

11. The Design engineer, as a condition of rough grade approval, shall provide blue top with accompanying witness stake, set at the center of each pad reflecting the pad elevation for precise permits and a blue top with witness stake set at the drainage swale high point reflecting the high point elevation for Preliminary Permits.

12. All trench backfills shall be tested and approved by the Soil Engineer per the Grading Code.

13. The Engineering Geologist and Soil Engineer shall after clearing and prior to the placement of fill in canyons, inspect each canyon for areas of adverse stability and to determine the presence or absence of subsurface water or spring flow. If needed, subdrains will be designed and constructed prior to the placement of fill in each respective canyon.

14. Subdrain outlets shall be completed at the beginning of the subdrain construction.

15. The exact location of the subdrains shall be surveyed in the field for line/grade and reflected on as-graded plans.

16. All cut slopes shall be investigated both during and after grading by the Engineering Geologist to determine if any slope stability problems exist. Should excavation disclose any geological hazards or potential geological hazards, the Engineering Geologist shall submit recommended treatment to the Building Official for approval.

17. Where support or buttressing of cut and natural slopes is determined to be necessary by the engineering Geologist and Soil Engineer, the Soil Engineer shall submit design, locations and calculations to the Building Official prior to construction. The Engineering Geologist and Soil Engineer shall inspect and control the construction of the buttressing and certify to the stability of the slope and adjacent structures upon completion.

18. When cut pads are brought to near grade, the Engineering Geologist shall determine if the bedrock is extensively fractured or faulted and will readily transmit water. If considered necessary by the Engineering Geologist and Soil Engineer, a compacted fill blanket will be placed.

19. The Engineering Geologist shall perform periodic inspections and submit a complete report and map upon completion of the rough grading.

20. The compaction report and approval for the Soil Engineer shall indicate the type of field-testing performed. Each test shall be identified with a method of obtaining the in-place density, whether sand cone or drive ring and shall be so noted for each test. Sufficient maximum density determinations shall be performed to verify the accuracy of the maximum density curves used by the Field Technician.

21. The Soil Engineer and Engineering Geologist shall perform sufficient inspections and be available during grading and construction to verify compliance with the plans, specifications and the code within their purview.

22. The Civil engineer shall be available during grading to verify compliance with the plans, specifications, code and any special conditions of the permit within the purview.

23. The permittee is responsible for dust control measures.

24. Sanitary facilities shall be maintained on the site.

25. The location and protection of all utilities is the responsibility of the permittee.

26. Approved protective measures and temporary drainage provisions shall be used to protect adjoining properties during grading.

27. Any existing water wells shall be abandoned in compliance with the specifications approved by County of Orange, Human Services Agency, Division of Environmental Health.

28. Any existing oil wells shall be abandoned in compliance with the Orange County Oil Code to the approval of OC Public Works/Regulations Special Service Section.

29. Any existing cesspools and septic tanks shall be abandoned in compliance with the California Plumbing Code to the approval of City planning/building divisions, Special Service Section.

30. Prior to final approval, the Civil Engineer shall certify to the Building Official the amount of earth moved during the grading operation.

31. The permittee shall comply with the Grading Code requirements when an excess of 5,000 cubic yards of each is transported to or from a permitted site on public roadways.

32. Asphalt concrete shall be constructed per the requirements of OC Public Works Standard Plan No. 1805.

33. Aggregate base section shall be constructed per OC Public Works Standard No. 1804.

34. All concrete structures that come in contact with the on-site soils shall be constructed with type V cement, unless deemed unnecessary by soluble sulphate-content tests conducted by the Soil Engineer.

35. Export soil must be transported to a legal dump or to a permitted site approved by the District Grading Inspector.

36. Slopes exceeding 5 feet in height shall be planted with approved plant material. In addition, exceeding 15 feet in height shall be provided with an approved irrigation system, unless otherwise approved by the he Building Official.

37. The Grading Contractor shall submit a statement of compliance to the approved Grading Plan prior to final approval.

38. Asphalt sections must be per Code: Parking stalls = 3" A/C over 6" A/C, Drives 3" A/C over 10" (Comm.) 12" (Industrial). Or: Prior to rough grad release for Building Permits by the District Grading Inspector, the Soil Engineer shall submit for approval, pavement section recommendations based on 'R' Value analysis of the sub-grade soils, and expected traffic indices.

CITY OF LAGUNA NIGUEL STANDARD GRADING NOTES

39. Preliminary soil and geology reports and all subsequent reports as approved by the City Grading Section are considered a part of the approved grading plan.

40. All existing drainage courses through this site shall remain open until facilities to handle storm water are approved and functional; however, in any case, the permittee shall be held liable for any damage due to obstructing natural drainage patterns.

41. Grading operations including maintenance of equipment within one-half mile of a human occupancy shall not be conducted between the hours of 8 p.m. and 7 a.m. daily, on Sunday or on a Federal Holiday.

42. Roof gutters shall be installed to prevent roof drainage from falling on manufactured slopes.

43. The permittee shall be given reasonable notice to the owner of adjoining lands and buildings prior to beginning excavations which may affect the lateral and subjacent support of the adjoining property. The notice shall state the intended depth of excavation and when the excavation will commence. The adjoining owner shall be allowed at least 30 days and reasonable access of the permitted property to protect his structure, if he so desires, unless otherwise protected by law.

EROSION CONTROL

44. In case of emergency, call: HENRY BARCIKOWSKI (Name) Work Phone: ____________
Home Phone: (256) 656-9924

45. Sediments from areas disturbed by construction shall be retained on-site using an effective combination of erosion and sediment controls to the maximum extent practicable, and stockpiles of soil shall be properly contained to minimize sediment transport from the site to streets, sidewalks, gutters, drain inlets or adjacent properties via runoff, vehicle tracking or wind.

46. All sediment and construction debris which is tracked or deposited onto public or private sidewalks, gutters or paved roads shall be removed on a daily basis by sweeping or vacuuming and disposed of properly. Sediment and construction debris **shall not** be washed into the storm drain system, including the gutter and storm drain inlets.

47. Sandbags, gravel bags or other effective filter or trap-type barriers shall be used where appropriate to intercept and slow the flow of runoff from the construction site and to trap sediment before it enters the storm drain system, including gutters and inlets. All on-site storm drain inlets shall be protected and off-site inlets shall be protected in areas where construction activity tracks sediment on paved areas or where inlets receive runoff from disturbed areas.

48. Equipment and workers for emergency work shall be made available at all times during the rainy season. Necessary materials shall be available on site and stockpiled at convenient locations to facilitate rapid construction of temporary devices when rain is imminent.

49. Erosion control devices shall not be moved or modified without the approval of the Building Official.

50. During the wet season, between October 1st and April 30th, erosion control protective devices and measures shall be in place at the end of each working day when the 5-Day probability-of-rain exceeds 40%. During the remainder of the year, the erosion control protective devices and measures shall be onsite and ready for installation when the 5-Day probability-of-rain exceed 50% and in place at the end of each day when the 48 hour probability-of-rain exceeds 50%.

51. After a rainstorm all silt and debris shall be removed from streets, check berms and basins.

52. Graded areas on the permitted area perimeter must drain away from the face of slopes at the conclusion of each working day. Drainage to be directed toward de-silting facilities.

53. All bare slopes, including manufactured slopes, shall be provided with protective erosion control measures.

54. Erosion control systems are dynamic and will change based on changes in site development and weather conditions. Therefore, upon inspection, additional erosion and sediment control measures maybe required by the City inspector to minimize erosion and sediment transport from areas of the site to streets, sidewalks, gutters, drain inlets or adjacent properties.

55. The permittee and contractor shall be responsible and shall take necessary precautions to prevent public trespass onto areas where impounded water creates a hazardous condition.

56. The permittee and contractor shall inspect the erosion control work and insure that the work is in accordance with the approved plans.

UNDERGROUND STORAGE TANK REMOVAL

57. In the event that soil contamination is discovered during excavation and removal of an existing tank, work shall be stopped until a site assessment and mitigation plan has been prepared, submitted and approved by HCA/Environmental Health and the Grading section.

58. Issuance of a grading permit does not eliminate the need for permits from other agencies with regulatory responsibilities for construction activities associated with the work authorize on this plan.

SPECIAL NOTE

59. Survey monuments shall be preserved and referenced before construction and replaced after construction pursuant to Section 8771 of the Business and Professional Code."

PRECISE GRADING PLAN

25091 ARMAGOSA DRIVE

LOT 43, TRACT 4906, M.M. 199/26-35
IN THE CITY OF LAGUNA NIGUEL, COUNTY OF ORANGE
STATE OF CALIFORNIA

WATER QUALITY

60. Sediments from areas disturbed by construction shall be retained on site using an effective combination of erosion and sediment controls to the maximum extent practicable; and stockpiles of soil shall be properly contained to minimize sediment transport from the site to streets, sidewalks, gutters, drain inlets or adjacent properties via runoff, vehicle tracking or wind.

61. All sediment and construction debris which is tracked or deposited onto public or private sidewalks, gutters or paved roads shall be removed on a daily basis by sweeping or vacuuming and disposed of properly. Sediment and construction debris shall not be washed into the storm-drain system, including the gutter and storm-drain inlets.

62. Sandbags, gravel-bags or other effective filter or trap-type barriers shall be used where appropriate to intercept and slow the flow of runoff from the construction site and to trap sediment before it enters the storm-drain system, including gutters and inlets. All on-site storm-drain inlets shall be protected and off-site inlets shall be protected in areas where construction activity tracks sediment on paved areas or where inlets receive runoff from disturbed areas.

63. Water and/or other dust palliative and stabilization methods should be used to prevent or alleviate dust nuisances (dust control) generated by construction activities. Covering small stockpiles of soil and debris or areas with un-stabilized soil is an alternative to applying water or other dust palliatives.

64. Construction-related materials, wastes, spills or residues shall be retained on site to minimize transport from the site to streets, sidewalks, gutters, drain inlets or adjoining properties by wind or runoff.

65. Stockpiles of soil, paving materials, and pressure-treated wood shall be managed to prevent air and water pollution. Stockpiles should be located 50 feet away from concentrated flows of storm water, watercoursesand drain inlets. Prior to the onset of precipitation, stockpiles shall be covered and protected by a temporary perimeter sediment barrier at all times.

66. Hazardous-material waste, including but not limited to petroleum products, roofing tar, paints, solvents, stains, acids, wood preservatives, septic wastes and asphalt products, shall not be allowed to enter the storm-drain system or watercourses and shall be properly transported, used, stored and disposed as required by federal and state law. Paint brushes and equipment for water-and oil-based paints shall be cleaned within a contained area and shall not be allowed to contaminate site soil, watercourses or storm-drain systems. Water-based paints shall be rinsed into the sanitary-sewer system; and thinners, solvents, excess oil-based paints and sludge shall be disposed as hazardous waste.

67. Cementaceous products such as concrete, mortar or stucco from concrete trucks, potable mixers and miscellaneous containers shall not be washed-out into the storm-drain system or watercourses. Designated washout areas shall be located at least 50 feet from concentrated flows of storm water, watercourses and storm-drain inlets, and runoff from washout-areas shall be contained by constructing a temporary pit or berm rea large enough to capture the liquid and solid waste materials.

68. Saw-cut-cement concrete and asphalt-concrete slurry shall not be allowed to enter the storm-drain system or watercourses. Residue from grinding operations shall be picked up by means of a vacuum attachment to the grinding machine and not allowed to flow across the pavement or be left on the surface of the pavement.

69. Prior to discharge of groundwater and associated waste, the discharger shall make application to the San Diego Regional Water Quality Control Board and obtain coverage under Order No. R9-2008-0002, Discharges From Groundwater Extraction to Surface Waters in the San Diego Region Except San Diego Bay.

EARTHWORK QUANTITIES	
CUT:	255 C.Y.
FILL:	5 C.Y.
EXPORT:	250 C.Y.
OVER-EXCAVATION:	695 C.Y.
PROJECT AREA = 14,284 SQ. FT. = 0.33 ACRE	

PROJECT AREA

TOTAL LOT AREA: 14,284 SF = 0.33 ACRE

PRE DEVELOPMENT
PERVIOUS AREA: 9,478 SF
IMPERVIOUS AREA: 4,806 SF

POST DEVELOPMENT
PERVIOUS AREA: 6,670 SF
IMPERVIOUS AREA: 7,614 SF
3 2

INDEX TO SHEETS	
SHEET C1	TITLE SHEET
SHEET C2	GRADING PLAN & CONSTRUCTION NOTES
SHEET C3	EROSION CONTROL PLAN
SHEET C4	DETAILS & SECTIONS
SHEET C5	TOPOGRAPHIC SURVEY

PERMIT # G 19-20

BENCH MARK:
3U-37-70, ELEV. 296.857', 1991:
3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "3U-37-70", SET IN THE NORTHERLY EDGE OF A ROUNDED CONCRETE CATCH BASIN. MONUMENT IS LOCATED IN THE SOUTHERLY CORNER OF THE INTERSECTION OF NUEVA VISTA AND CROWN VALLEY PKWY, 42 FT SOUTHWESTERLY OF THE CENTERLINE OF NUEVA VISTA AND 53 FT SOUTHEASTERLY OF THE CENTERLINE MEDIAN ALONG CROWN VALLEY PKWY. MONUMENT IS SET LEVEL WITH SIDEWALK.

PREPARED FOR:
MR. & MRS. BARCIKOWSKI
25091 Armagosa Drive
Laguna Niguel, CA 92677
Phone (256) 656-9924

NO.	REVISIONS	APPROVED	DATE
4			
3	REVISED PROJECT AREAS. ALSO, SEE SHEETS C2 & C4 FOR DESCRIPTION OF REVISIONS.		09/14/22
2	REVISED PROJECT AREAS. ALSO, SEE SHEETS C2 & C4 FOR DESCRIPTION OF REVISIONS.		03/23/22
1	SEE SHEETS C2 & C4 FOR DESCRIPTION OF REVISIONS.		10/27/21

REGISTERED PROFESSIONAL ENGINEER TRYFON P. TRYFONOPOULOS NO. C65859 EXP. 12/31/23 CIVIL STATE OF CALIFORNIA

PREPARED BY:
RGA Consultants, Inc.
CIVIL ENGINEERING • SURVEYING
34 GEORGETOWN
IRVINE • CALIFORNIA • 92612
PHONE (949) 509 0909
FAX (949) 509 0901

DESIGNED BY: R.G.
DRAWN BY: R.G.
CHECKED BY: T.T.
LAST UPDATED: 14 SEP 2022
PLOT DATE: 14 SEP 2022

TITLE SHEET
25091 ARMAGOSA DRIVE
APN 637-061-04
LOT 43, TRACT 4906, M.M. 199/26-35
CITY OF LAGUNA NIGUEL

SHEET C1
JOB NO. 18718

F:\RGAJOBS\2018\JN18718\Revision3\18718-GP-C1-R3.DWG

SCALE: 1/8"=1'

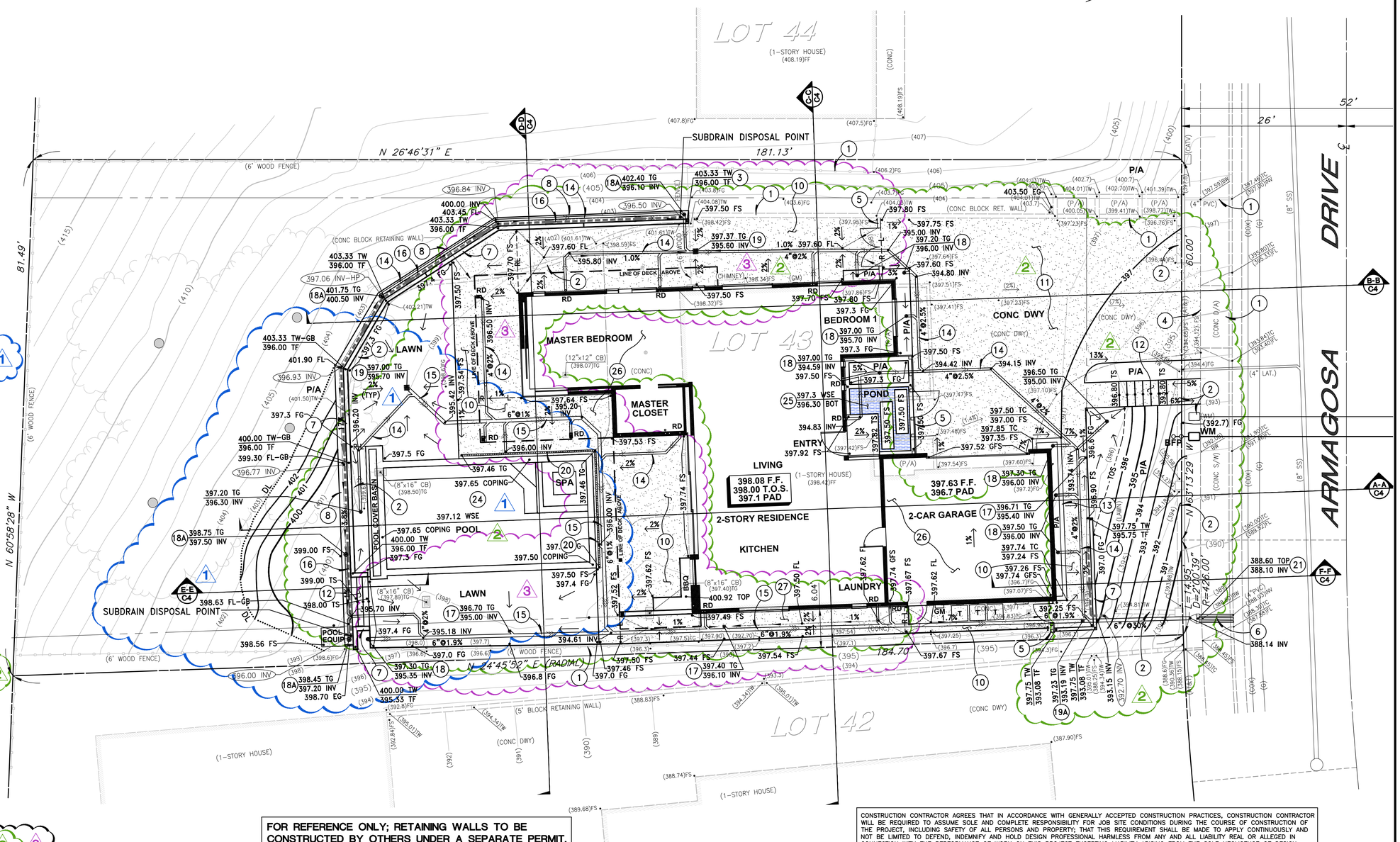
8' 4' 0' 4' 8' 16' 24' 32' 40' 48' 56'

CONSTRUCTION NOTES

NO.	DESCRIPTION
1	PROTECT IN PLACE.
2	REMOVE & DISCARD.
3	JOIN EXISTING WALL.
4	SAWCUT/JOIN EXISTING PAVEMENT.
5	CONSTRUCT FENCE PER LANDSCAPE ARCHITECT'S PLANS.
6	REMOVE EXISTING PIPE & PORTION OF EXISTING SIDEWALK AND INSTALL THREE 3" PVC, SCHEDULE 40 PIPES AS SHOWN. ENSURE 3" CLEARANCE BETWEEN PIPES.
7	CONSTRUCT RETAINING WALL PER SEPARATE PLAN & PERMIT. COLOR & FINISH SHALL BE PER LANDSCAPE ARCHITECT'S SPECIFICATIONS.
8	CONSTRUCT GUTTER BEHIND WALL PER DETAIL ON SHEET C4.
9	DELETED. 2
10	CONSTRUCT 5" THICK CONCRETE PAVEMENT UNDERLAIN WITH 2" LAYER OF SAND & REINFORCED WITH #4 BARS AT 16" O.C. BOTH WAYS PLACED AT MIDDLE OF SLAB. COLOR, TEXTURE & SCORE PATTERN SHALL BE PER LANDSCAPE ARCHITECT'S SPECIFICATIONS.
11	CONSTRUCT 6" THICK CONCRETE PAVEMENT UNDERLAIN WITH 2" LAYER OF SAND & REINFORCED WITH #4 BARS AT 16" O.C. BOTH WAYS PLACED AT MIDDLE OF SLAB. COLOR, TEXTURE & SCORE PATTERN SHALL BE PER LANDSCAPE ARCHITECT'S SPECIFICATIONS.
12	CONSTRUCT STEPS PER LANDSCAPE ARCHITECT'S PLANS.
13	CONSTRUCT CONCRETE CURB PER DETAIL ON SHEET C4.
14	INSTALL 4" DIAMETER PVC PIPE, SDR 35 OR EQUIVALENT.
15	INSTALL 6" DIAMETER PVC PIPE, SDR 35 OR EQUIVALENT.
16	INSTALL 4" DIAMETER PERFORATED PIPE, SDR 35 OR EQUIVALENT. SET PERFORATIONS AT BOTTOM OF PIPE. PIPE SHOULD BE LAID ON AT LEAST 2" OF OPEN-GRADED GRAVEL. SEE DETAIL ON SHEET C4.
17	INSTALL 6" FLAT GRATE. GRATE STYLE, COLOR & MANUFACTURER SHALL BE PER LANDSCAPE ARCHITECT'S SPECIFICATIONS.
18	INSTALL 6" ATRIUM GRATE. GRATE STYLE, COLOR & MANUFACTURER SHALL BE PER LANDSCAPE ARCHITECT'S SPECIFICATIONS.
18A	INSTALL 8" ATRIUM GRATE. GRATE STYLE, COLOR & MANUFACTURER SHALL BE PER LANDSCAPE ARCHITECT'S SPECIFICATIONS.
19	INSTALL 10" FLAT GRATE. GRATE STYLE, COLOR & MANUFACTURER SHALL BE PER LANDSCAPE ARCHITECT'S SPECIFICATIONS.
19A	CLEANOUT: INSTALL 6"x6" FLAT GRATE. GRATE STYLE, COLOR & MANUFACTURER SHALL BE PER LANDSCAPE ARCHITECT'S SPECIFICATIONS.
20	INSTALL 3" WIDE CHANNEL DRAIN. GRATE STYLE, COLOR & MANUFACTURER SHALL BE PER WIDE LANDSCAPE ARCHITECT'S SPECIFICATIONS.
21	INSTALL ADAPTOR TO ACCOMMODATE TRANSITION FROM 6" PIPE INLET TO 3 x 3" PIPE OUTLETS.
22	DELETED. 2
23	DELETED.
24	CONSTRUCT POOL/SPA PER SEPARATE PLAN & PERMIT.
25	CONSTRUCT POND PER LANDSCAPE ARCHITECT'S SPECIFICATIONS.
26	OVER-EXCAVATE PER GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.
27	DELETED. 2 3

NOTE: UNLESS NOTED OTHERWISE, ALL EXISTING STRUCTURES, PAVEMENTS, WALLS, FENCES, LANDSCAPING & DRAIN PIPES SHALL BE REMOVED AND DISCARDED.

NOTE: ALL DRAIN PIPES WITHIN THE FOOTPRINT OF THE BUILDING AND UNDER THE DRIVEWAY SHALL BE PVC, SCHEDULE 40.



FOR REFERENCE ONLY; RETAINING WALLS TO BE CONSTRUCTED BY OTHERS UNDER A SEPARATE PERMIT.

UTILITY LINES SHOWN ON THESE PLANS WERE LOCATED FROM THE PUBLIC RECORDS WHEN POSSIBLE FROM THE RESPECTIVE UTILITY'S OFFICE AND HAVE BEEN ASSUMED RELIABLE. HOWEVER, R G A CONSULTANTS, INC. ASSUMES NO LIABILITY FOR THE DAMAGE OF UNDERGROUND UTILITIES DURING OR AFTER CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY **UNDERGROUND SERVICE ALERT** AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF EXCAVATION TO ARRANGE FOR FIELD LOCATION OF UTILITY LINES. CALL (800) 227-2600 FOR THIS SERVICE WHICH IS PROVIDED FREE OF CHARGE. ANY UTILITY NOT SUBSCRIBING TO THIS SERVICE SHALL BE CONTACTED DIRECTLY. IT SHALL BE THE CONTRACTOR'S DUTY TO DETERMINE WHETHER ALL UTILITIES HAVE BEEN NOTIFIED. THE CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT ALL UTILITY LINES HEREON AND ANY OTHER UTILITY LINES OTHERWISE LOCATED.

CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.

SHOULD THE CONTRACTOR, CITY ENGINEER, CITY INSPECTOR, OR ANY OTHER INDIVIDUAL USING THESE PLANS FOR ANY REASON, NOTICE BE MADE AWARE OF OR ENCOUNTER CONDITIONS CONTRARY TO THOSE SHOWN OR SPECIFIED IN THESE PLANS OR SHOULD CIRCUMSTANCES CHANGE SINCE THE DATE OF PREPARATION OF THESE PLANS **R G A CONSULTANTS, INC.** SHALL BE NOTIFIED IMMEDIATELY AT (949)509-0909.

PERMIT # G 19-20

BENCH MARK:

3U-37-70, ELEV. 296.857', 1991:
3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "3U-37-70", SET IN THE NORTHERLY EDGE OF A ROUNDED CONCRETE CATCH BASIN. MONUMENT IS LOCATED IN THE SOUTHERLY CORNER OF THE INTERSECTION OF NUEVA VISTA AND CROWN VALLEY PKWY, 42 FT SOUTHWESTERLY OF THE CENTERLINE OF NUEVA VISTA AND 53 FT SOUTHEASTERLY OF THE CENTERLINE MEDIAN ALONG CROWN VALLEY PKWY. MONUMENT IS SET LEVEL WITH SIDEWALK.

PREPARED FOR:

MR. & MRS. BARCIKOWSKI
25091 Armagosa Drive
Laguna Niguel, CA 92677
Phone (256) 656-9924

NO.	REVISIONS	APPROVED	DATE
3	REPLACED GRAVEL SURFACES WITH CONCRETE; REVISED DRAINAGE ACCORDINGLY. REVISED CONST. NOTE NO. 27.		09/14/22
2	REMOVED BIO-FILTRATION BASIN & EXISTING RET. WALLS IN FRONT. REMOVED WOOD DECK NEXT TO POOL. REVISED POOL GEOMETRY. REPLACED CONC. SURFACES WITH GRAVEL. R&R'D EXIST. DWY. REVISED CONST NOTE #19A, DELETED #22&23 & ADDED #27.		03/23/22
1	REVISED POOL & SURROUNDING HARDSCAPE; REVISED DRINAGE ACCORDINGLY. REVISED CONST. NOTE NO. 9.		10/27/21

REGISTERED PROFESSIONAL ENGINEER — TIMOTHY P. TRYFONOPOULOS — No. C58859 — EXP. 12/31/23 — CIVIL — STATE OF CALIFORNIA

PREPARED BY:
RGA Consultants, Inc.
CIVIL ENGINEERING • SURVEYING
34 GEORGETOWN
IRVINE • CALIFORNIA • 92612
PHONE (949) 509 0909 FAX (949) 509 0901

DESIGNED BY: R.G.
DRAWN BY: R.G.
CHECKED BY: T.T.
LAST UPDATED: 14 SEP 2022
PLOT DATE: 14 SEP 2022

PRECISE GRADING PLAN
25091 ARMAGOSA DRIVE
APN 637-061-04
LOT 43, TRACT 4906, M.M. 199/26-35
CITY OF LAGUNA NIGUEL

SHEET C2
JOB NO. 18718

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SCALE: 1/8"=1'
LOT 44
LOT 43
LOT 42
ARMAGOSA DRIVE
(CASQA SE-1, SILT FENCE)
EXISTING WOOD FENCE.
(SANITARY/SEPTIC WASTE MANAGEMENT PER CASQA WM-9)
PORTABLE TOILET.
(CASQA SE-1, SILT FENCE)
INSTALL 6' HIGH FENCE WITH FILTER FABRIC.
(CASQA SE-1, SILT FENCE)
EXISTING WOOD FENCE. & 2 BAG HIGH GRAVEL BAGS
(CASQA TC-1, STABILIZED ENTRY)
EXISTING CONCRETE DRIVEWAY.
(CASQA SE-6, GRAVEL BAG BERM)
PLACE DOUBLE ROWS OF GRAVEL BAGS & 2 BAGS HIGH AS SHOWN.
(CASQA SE-7, STREET SWEEPING AND VACUUMING)
(CASQA WM-8, CONCRETE WASTE MANAGEMENT)
CONCRETE WASHOUT AREA PER CASQA WM-8. PLACE 2' HIGH GRAVEL BAGS AS SHOWN. USE 10 MIL PLASTIC LINING OVER THE AREA AND THE GRAVEL BAGS AND SECURE IN PLACE BY WOOD OR METAL STAKES. PROVIDE A SIGN STATING "CONCRETE WASHOUT" IN 6" HIGH WHITE LETTERS ON A 48"x24" PLYWOOD ATTACHED BY TWO 3"x3"x8' POSTS IMBEDED 3' INTO GROUND.
(CASQA SE-6, GRAVEL BAG BERM)
PLACE DOUBLE ROWS OF GRAVEL BAGS AS SHOWN.
(CASQA SE-7, STREET SWEEPING AND VACUUMING)
(CASQA SE-1, SILT FENCE)
INSTALL 6' HIGH FENCE WITH FILTER FABRIC.
(CASQA SE-6, GRAVEL BAG BERM)
PLACE DOUBLE ROWS OF GRAVEL BAGS AS SHOWN.
(CASQA SE-1, SILT FENCE)
EXISTING WOOD FENCE. & 2 BAG HIGH GRAVEL BAGS
(CASQA SE-6, GRAVEL BAG BERM)
PLACE DOUBLE ROWS OF GRAVEL BAGS & 2 BAGS HIGH AS SHOWN.
(CASQA SE-1, SILT FENCE)
EXISTING WOOD FENCE.
(CASQA SE-1, SILT FENCE)
EXISTING WOOD FENCE.
MASTER BEDROOM
BEDROOM 1
MASTER CLOSET
LIVING
2-STORY RESIDENCE
KITCHEN
LAUNDRY
2-CAR GARAGE
POOL
SPA
LAWN
POND
ENTRY
CONC DWY
398.08 F.F.
398.00 T.O.S.
397.1 PAD
397.63 F.F.
396.7 PAD
N 26°46'31" E 181.13'
N 60°58'28" W 81.49'
N 24°45'52" E (RADIAL) 184.70'

PERMIT # G 19-20

BENCH MARK:

3U-37-70, ELEV. 296.857', 1991:
3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "3U-37-70", SET IN THE NORTHERLY EDGE OF A ROUNDED CONCRETE CATCH BASIN. MONUMENT IS LOCATED IN THE SOUTHERLY CORNER OF THE INTERSECTION OF NUEVA VISTA AND CROWN VALLEY PKWY, 42 FT SOUTHWESTERLY OF THE CENTERLINE OF NUEVA VISTA AND 53 FT SOUTHEASTERLY OF THE CENTERLINE MEDIAN ALONG CROWN VALLEY PKWY. MONUMENT IS SET LEVEL WITH SIDEWALK.

PREPARED FOR:

MR. & MRS. BARCIKOWSKI
25091 Armagosa Drive
Laguna Niguel, CA 92677
Phone (256) 656-9924

NO.	REVISIONS	APPROVED	DATE
5			
4			
3			
2			
1			

REGISTERED PROFESSIONAL ENGINEER TRYFON P. TRYFONOPOULOS NO. C65859 EXP. 12/31/23 CIVIL STATE OF CALIFORNIA

PREPARED BY:

RGA Consultants, Inc.
CIVIL ENGINEERING • SURVEYING
34 GEORGETOWN
IRVINE • CALIFORNIA • 92612
PHONE (949) 509 0909
FAX (949) 509 0901

DESIGNED BY: R.G.
DRAWN BY: R.G.
CHECKED BY: T.T.
LAST UPDATED: 14 SEP 2022
PLOT DATE: 14 SEP 2022

EROSION CONTROL PLAN
25091 ARMAGOSA DRIVE
APN 637-061-04
LOT 43, TRACT 4906, M.M. 199/26-35
CITY OF LAGUNA NIGUEL

SHEET **C3**
JOB NO. **18718**

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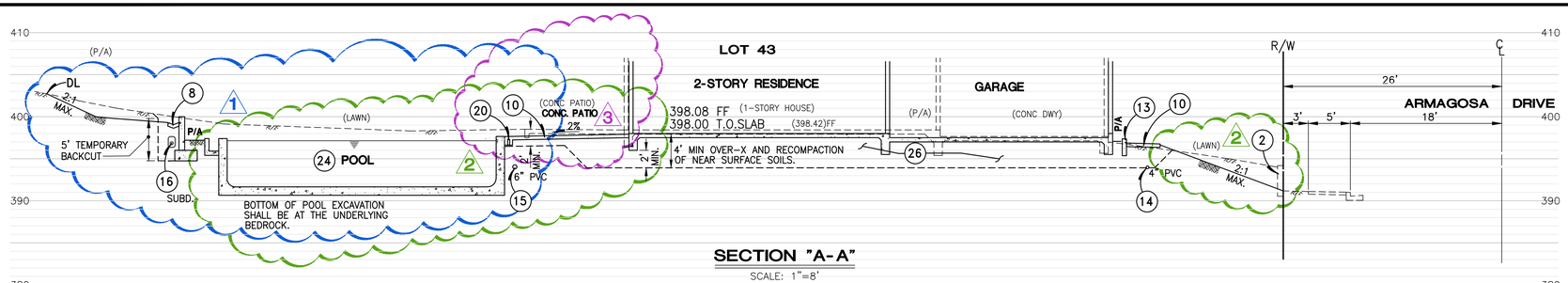
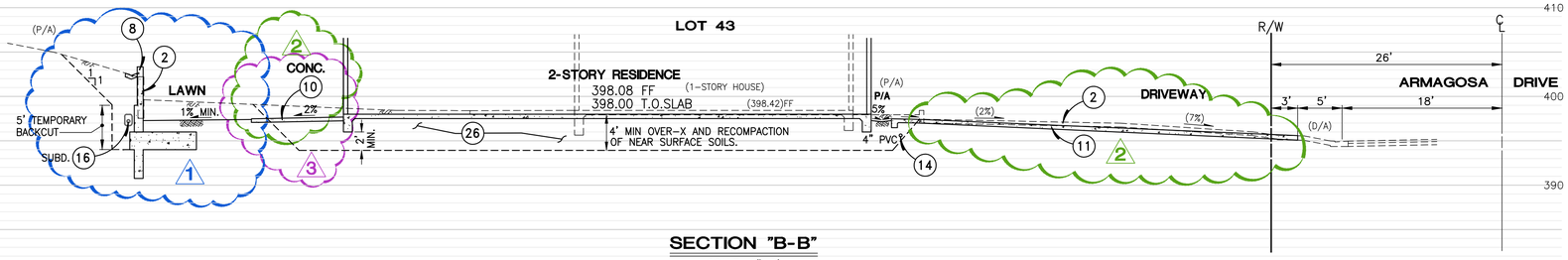


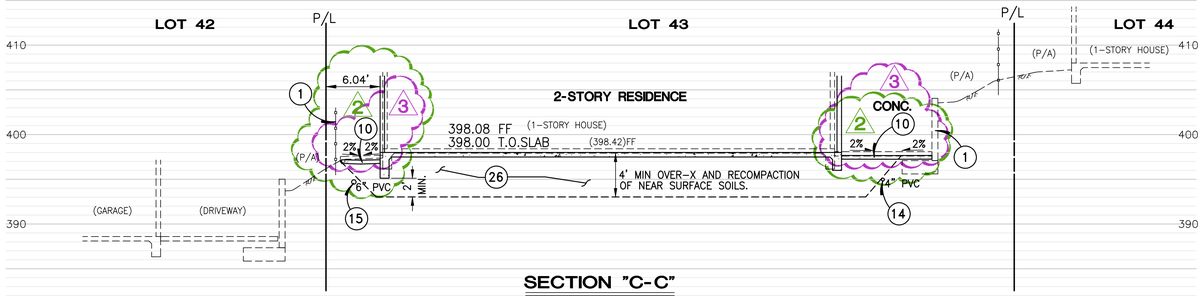
SECTION "A-A"

SCALE: 1"=8'



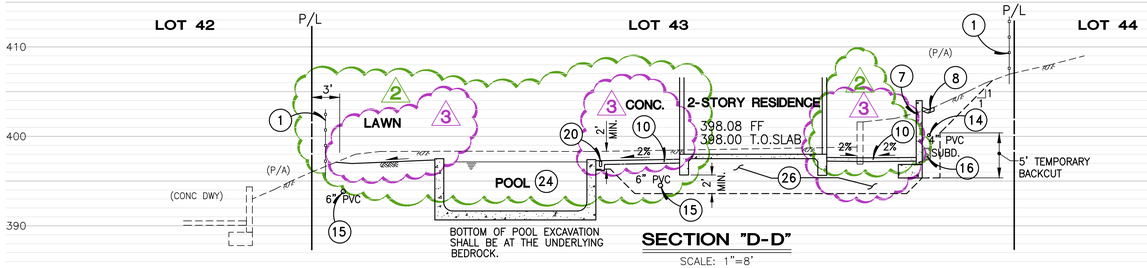
SECTION "B-B"

SCALE: 1"=8'



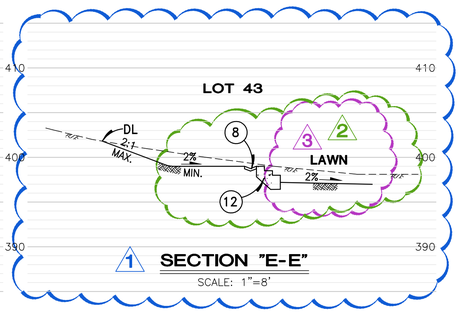
SECTION "C-C"

SCALE: 1"=8'



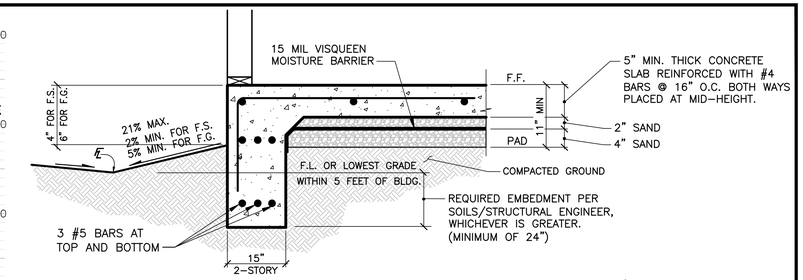
SECTION "D-D"

SCALE: 1"=8'



SECTION "E-E"

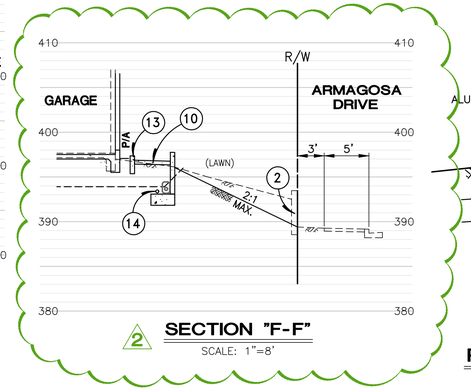
SCALE: 1"=8'



BUILDING SLAB DETAIL

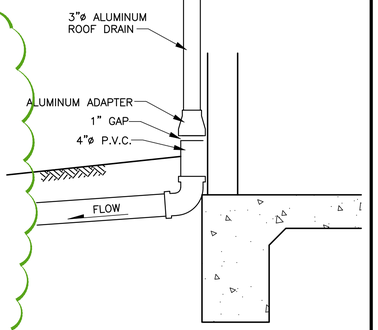
(NO SCALE)

for reference only



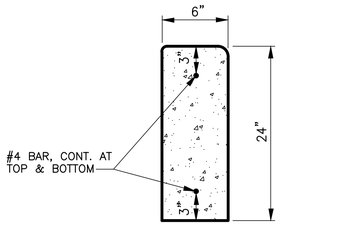
SECTION "F-F"

SCALE: 1"=8'



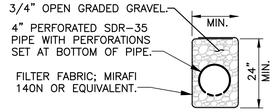
ROOF DRAIN CONNECTION

(NO SCALE)



CONCRETE CURB DETAIL

(NO SCALE)



SUBDRAIN DETAIL

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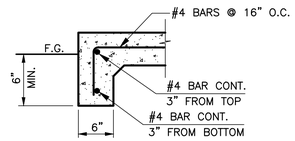

PAVEMENT EDGE DETAIL

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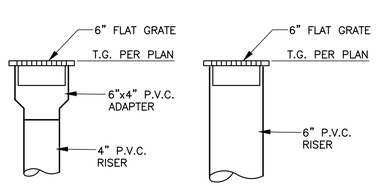
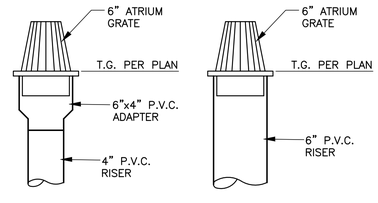


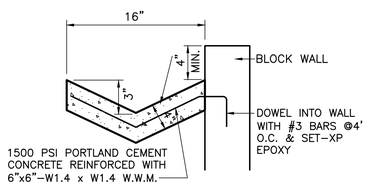
6" FLAT GRATE DETAIL

(NO SCALE)



6" ATRIUM GRATE DETAIL

(NO SCALE)



GUTTER DETAIL

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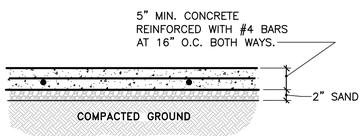

HARDSCAPE SECTION

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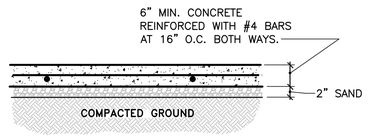

DRIVEWAY SECTION

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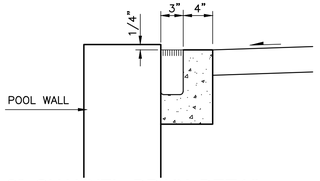
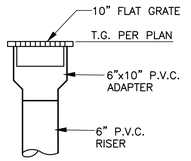


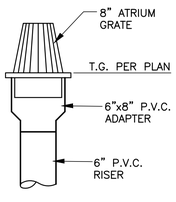
3" CHANNEL DRAIN DETAIL

(NO SCALE)



10" FLAT GRATE DETAIL

(NO SCALE)



8" ATRIUM GRATE DETAIL

(NO SCALE)

PERMIT # G 19-20

BENCH MARK:

3U-37-70, ELEV. 296.857', 1991:
3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "3U-37-70", SET IN THE NORTHERLY EDGE OF A ROUNDED CONCRETE CATCH BASIN. MONUMENT IS LOCATED IN THE SOUTHERLY CORNER OF THE INTERSECTION OF NUEVA VISTA AND CROWN VALLEY PKWY, 42 FT SOUTHWESTERLY OF THE CENTERLINE OF NUEVA VISTA AND 53 FT SOUTHEASTERLY OF THE CENTERLINE MEDIAN ALONG CROWN VALLEY PKWY. MONUMENT IS SET LEVEL WITH SIDEWALK.

PREPARED FOR:

MR. & MRS. BARCIKOWSKI
25091 Armagosa Drive
Laguna Niguel, CA 92677

Phone (256) 656-9924

NO.	REVISIONS	APPROVED	DATE
4			
3	REVISED SECTIONS "A-A", "B-B", "C-C", "D-D" & "E-E".		09/14/22
2	DELETED DETAIL 19A, REVISED SECTIONS "A-A" THROUGH "E-E" & ADDED SECTION "F-F".		03/23/22
1	REVISED SECTIONS "A-A", "B-B" & "D-D". ADDED SECTION "E-E".		10/27/21

REGISTERED PROFESSIONAL ENGINEER — TIMOTHY P. TRIPPENSEE — NO. C85859 — EXP. 12/31/23 — CIVIL — STATE OF CALIFORNIA

PREPARED BY:

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PHONE (949) 509 0909
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DESIGNED BY: R.G.
DRAWN BY: R.G.
CHECKED BY: T.T.
LAST UPDATED: 14 SEP 2022
PLOT DATE: 14 SEP 2022

DETAILS & SECTIONS
25091 ARMAGOSA DRIVE
APN 637-061-04
LOT 43, TRACT 4906, M.M. 199/26-35
CITY OF LAGUNA NIGUEL

SHEET **C4**
JOB NO. 18718

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