



City of Laguna Niguel Pre-Approved ADU Program



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Section 1

Introduction



Introduction

In an effort to be compliant with California state law and provide additional housing options for local residents, the City of Laguna Niguel assembled the Pre-Approved Accessory Dwelling Unit (PAADU) Program to simplify the permitting process and encourage the development of new accessory dwelling units (ADUs). ADU popularity continues to grow throughout California as they offer an alternative solution to the ever-evolving housing shortage. The current Housing Element asserts that the City of Laguna Niguel must provide 1,207 total units during the 6th housing cycle in order to meet current demand.

This handbook assists potential users on how to utilize the Pre-Approved ADU Program and seeks to answer any relevant questions regarding the program such as the program process, benefits of ADUs, and development standard requirements. Additionally, the handbook displays the floor plans and elevations of the pre-approved ADUs available for download and provides a brief description of each architectural style.



Background

Due to a number of regulatory, environmental, and miscellaneous factors, California has been unable to construct the necessary amount of housing units needed for state residents. A decrease in the production of units has caused housing costs to steadily increase over the last several decades.

To combat the housing shortage, ADUs have been encouraged across the state through the passing of a series of legislation including, but not limited to, Senate Bill 13, Assembly Bill 68, and Senate Bill 897.

Benefits of ADUs

ADUs offer a variety of benefits depending on the potential user. Whether the intent is to construct a new space for an extended family member, create a new revenue stream with a long-term rental, or simply add more livable space to your property, fully understanding the benefits of ADUs can support and encourage future residents to consider the addition of an ADU.



ADUs can House Any Age or Lifestyle

ADUs can be perfect for families with aging family members that need additional care while allowing them to maintain a sense of independence as they age. This same sense of separation from the primary residence could be beneficial for extended family or friends needing a place to live.



Additional Revenue Streams

Owners of ADUs have the ability to use the ADU as a long-term rental property to create an additional revenue stream. The additional money coming in from the rental unit could be used to assist in mortgage payments for the owner, which is beneficial for residents relying on a fixed monthly income.



Compatibility with the Surrounding Neighborhood

The pre-approved ADU styles selected by the City allow residents to construct ADUs that are compatible with both their primary residence as well as the surrounding neighborhood. This consistency in design does not alter the look and feel of the neighborhood.

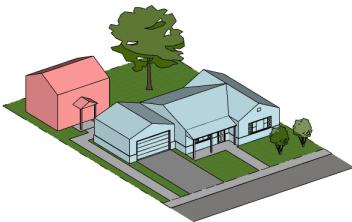


Affordable Housing Options

Communities are in need of affordable housing options as living costs continue to rise across California. Often times rental prices for ADUs are lower due to the smaller square footage. Encouraging ADU construction can establish an influx of new rental opportunities for local residents.

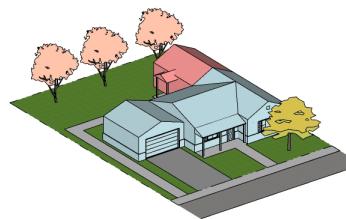
Types of ADUs

There are many different types of ADUs found across the state of California as builders and residents have become creative in the end goal of creating more housing. Depending on the users' property and lot size, the possibility of a detached ADU may be limited. Fortunately, there are options for smaller lots or primary residences with space that can be converted to a JADU.



Detached ADUs

Separated from the primary residence, detached ADUs offer privacy to allow for an extended family member or long-term renter to occupy the unit.



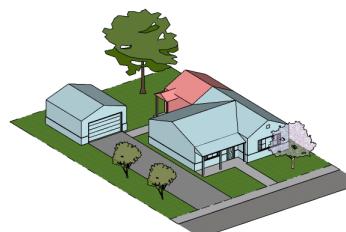
Attached ADUs

Sharing a wall with the primary residence, attached ADUs are an extension of the main dwelling that provide smaller lots with an opportunity to include an ADU on the premises.



Conversion ADUs

Available through the conversion of underutilized garage, shed, or primary residence space that provides applicants with an additional option to include another dwelling unit on their property.



JADUs

Smaller than an attached ADU, JADUs are often studio or 1-bedroom units attached to the primary residence allowing property owners to create an additional revenue stream on their lot.

Section 2

Pre-Approved ADU Program



Pre-Approved ADU Program



The City of Laguna Niguel allows ADUs in all zoning districts that permit residential uses on lots that include a proposed or existing dwelling including all single-family and multi-family zoning districts. In compliance with State law, regulations are established in Title 9, Division 1, Article 2, Section 9-1-35.26 of the Laguna Niguel Municipal Code.

To help simplify the construction of ADUs within Laguna Niguel, the City has developed the Pre-Approved ADU (PAADU) program. The program provides potential users with three floor plan layouts: studio, one-bedroom, and two-bedroom configurations and in three different architectural styles: California Ranch, Modern Farmhouse, and Mediterranean.

The plans have been pre-reviewed and approved by the City's Planning Division and Building & Safety Division and are available for download at the PAADU webpage. Applicants are still responsible for assembling a site plan and contacting outside agencies prior to submitting for review.



Process

The PAADU Program is designed to minimize the time it takes to get an ADU fully approved and constructed. The graphic below displays an overview of the ADU permitting, construction, and finalization process from start to finish if a user intends to utilize the PAADU Program. Further in-depth guidance on the process can be found on the Laguna Niguel PAADU Program Process Handout on the PAADU Program webpage.

1 - Gather Documents

Meet with the City Planning Division and use the Laguna Niguel ADU Submittal Checklist to gather all necessary documentation prior to submitting.

2 - Submit Package

Once all submittal documents are ready and the site plan has been prepared, the applicant can submit to the City's Planning Division and Building & Safety Division.

3 - City Review

Each applicable division will conduct a review of the project and either approve, deny, or provide revisions within 30 days.

1

2

3

4

5

6

4 - Re-submittal

The City may request revisions to the site plan provided by the applicant. In this case, the applicant will revise and resubmit the site plan to the City for final approval.

5 - Permit Issuance

Once revisions have been addressed, the applicant will receive a building permit from the City to proceed in constructing the ADU.

6 - Construction and Certificate of Occupancy

Following construction, the ADU will be inspected by the City. If everything is in full compliance, the applicant will receive a Certificate of Occupancy.

Design Considerations

Often selecting the appropriate pre-approved ADU plan for your property is dependent on the individual site and associated challenges. Keep the following items in mind when flipping through the available floor plans to determine how the ADU will fit within the existing constraints.



Does your site include a slope?

The City of Laguna Niguel includes a variety of topographies with lots commonly found near either the top or toe of slopes. If a slope does occur on your site, an additional setback requirement is applied pursuant to Title 9, Division 1, Article 2, Section 9-1-35.26 which states an ADU must be setback four (4) feet from the top or toe of slope that is 2:1 or steeper and over 10 feet in height.



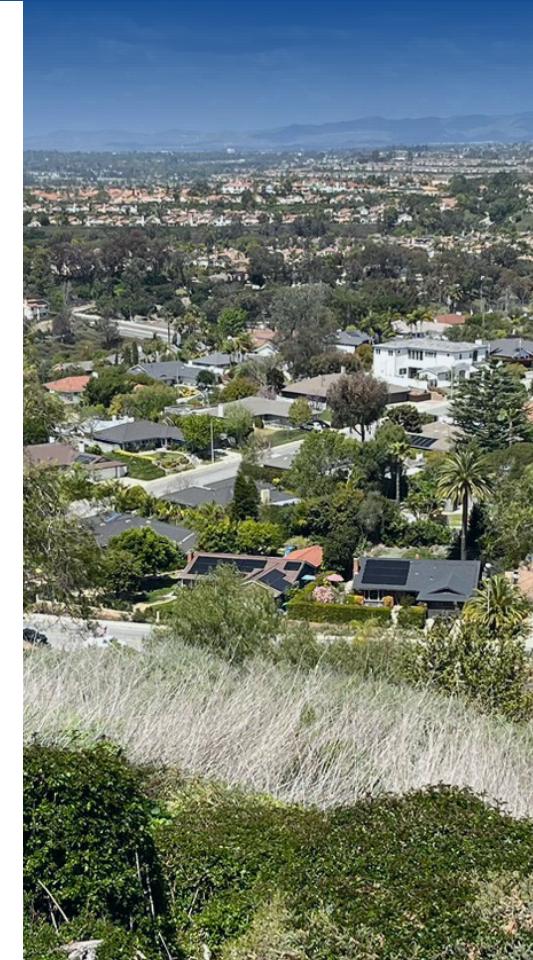
Accessibility

When beginning the process of preparing your site plan, consider how access will be provided to the ADU and identify any potential conflicts with the existing primary residence. ADUs are required to provide separate exterior access from the primary residence.



Parking and Private Open Space

Title 9, Division 1, Article 2, Section 9-1-35.26 of the Laguna Niguel Municipal Code requires ADUs to provide parking. Exemptions are available based on relation to public transit, with the opportunity to utilize the existing driveway. Additionally, it is beneficial to include private open space for the ADU to allow future residents the opportunity to have a private designated area.



ADU Development Standards Table

| | <i>Detached ADU</i> | <i>Attached ADU</i> | <i>JADU</i> |
|-----------------|--|---|--|
| Setbacks | <p>Front yard setback should comply with the front yard setback of the underlying zone.</p> <p>Side and rear yard setbacks shall be a minimum of four feet.</p> | <p>Front yard setback should comply with the front yard setback of the underlying zone.</p> <p>Side and rear yard setbacks shall be a minimum of four feet.</p> <p>No setback shall be required for the conversion of an existing permitted living area, accessory structure, or a structure constructed in the same location/same dimensions as an existing structure that is converted to an accessory dwelling unit or to a portion of an accessory dwelling unit.</p> | <p>The primary residence is subject to the underlying base zone setbacks.</p> |
| Height | <p>Maximum of 16 feet in height.</p> <p>A detached ADU may be up to 18 feet in height if built on a lot that is within one-half mile walking distance of a major transit stop or a high quality transit corridor.</p> <p>The ADU may also be up to two additional feet in height (maximum of 20 feet) to accommodate a roof pitch.</p> | <p>An ADU that is attached to the primary dwelling may not exceed 25 feet in height or the height limitation imposed by the underlying zone that applies to the primary dwelling, whichever is lower.</p> <p>Attached ADUs may not exceed two stories.</p> | <p>The primary residence is subject to the maximum height outlined in the underlying base zone. The construction of a JADU does not permit the primary residence to exceed the maximum height.</p> |

ADU Development Standards Table

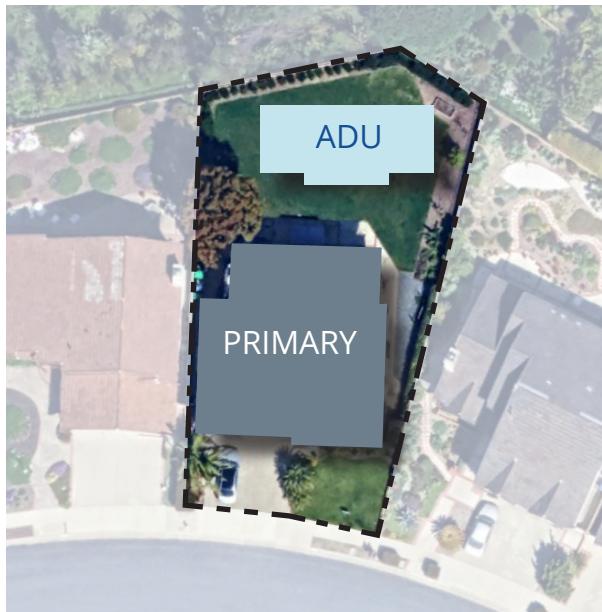
| | <i>Detached ADU</i> | <i>Attached ADU</i> | <i>JADU</i> |
|-----------|---|---|---|
| Unit Size | Maximum size of a detached ADU shall be limited to 850 square feet for units with zero to one bedrooms, and 1,000 square feet for units with two or more bedrooms. | Attached ADUs shall not exceed 50 percent of the habitable area of the existing primary residence or 800 square feet, whichever is less restrictive. | A JADU shall not exceed 500 square feet. |
| Parking | <p>One parking space is required for each new ADU, exceptions are provided for the following circumstances:</p> <ul style="list-style-type: none"> • ADUs converted as part of a proposed or existing space of a principal residence or within an existing accessory structure. • ADUs located within one-half mile walking distance of public transit. • When a garage, carport or covered parking structure is demolished in conjunction with the construction of an ADU at the same location, or converted to an ADU, those off-street parking spaces are not required to be replaced. • When on-street parking permits are required but not offered to the occupant of the accessory dwelling unit. | <p>One parking space is required for each new ADU, exceptions are provided for the following circumstances:</p> <ul style="list-style-type: none"> • ADUs converted as part of a proposed or existing space of a principal residence or within an existing accessory structure. • ADUs located within one-half mile walking distance of public transit. • When a garage, carport or covered parking structure is demolished in conjunction with the construction of an ADU at the same location, or converted to an ADU, those off-street parking spaces are not required to be replaced. • When on-street parking permits are required but not offered to the occupant of the accessory dwelling unit. | JADUs do not require parking spaces to be provided. |



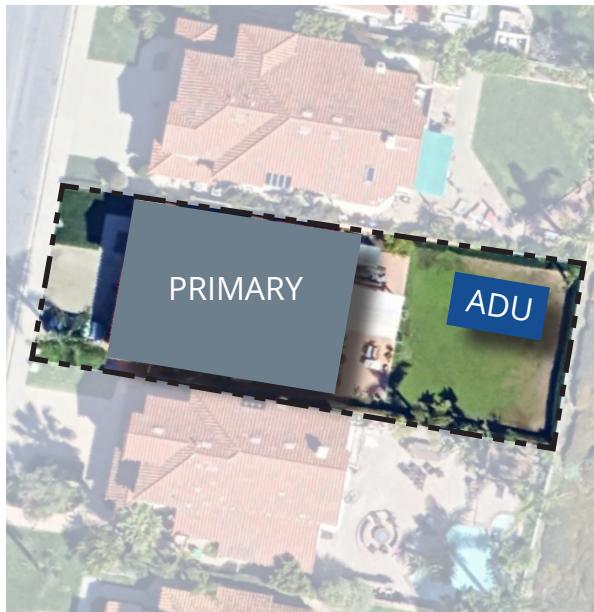
Dane Court



Ana Maria Lane



Jaeger Drive



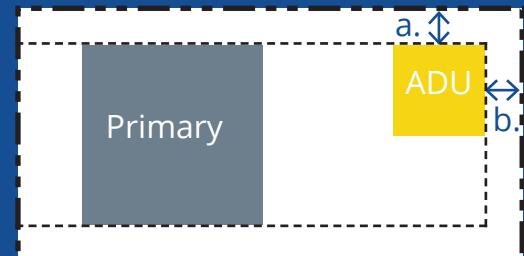
Novacella

Potential Site Configurations:

The City of Laguna Niguel residential areas include a variety of lots in assorted shapes and sizes. The PAADU Program's pre-approved plans provide three options for residents depending on their respective lots and needs. This graphic is intended to illustrate the versatility of the floor plans and how they may be oriented on a typical Laguna Niguel lot.

Development Standards:

- Minimum 4' side yard setback
- Minimum 4' rear yard setback



Property Line

Unit Placement Legend:

- Plan 1 - 350 Square Foot Unit
- Plan 2 - 532 Square Foot Unit
- Plan 3 - 758 Square Foot Unit

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Section 3

Pre-Approved ADU Designs



Pre-Approved ADU Designs

California Ranch - Plan 1

Plan 1 for the California Ranch is a 350 square foot studio with one bathroom. The unit has designated space for a washer/dryer with the ability to choose between a tub or shower and either a covered or uncovered porch.

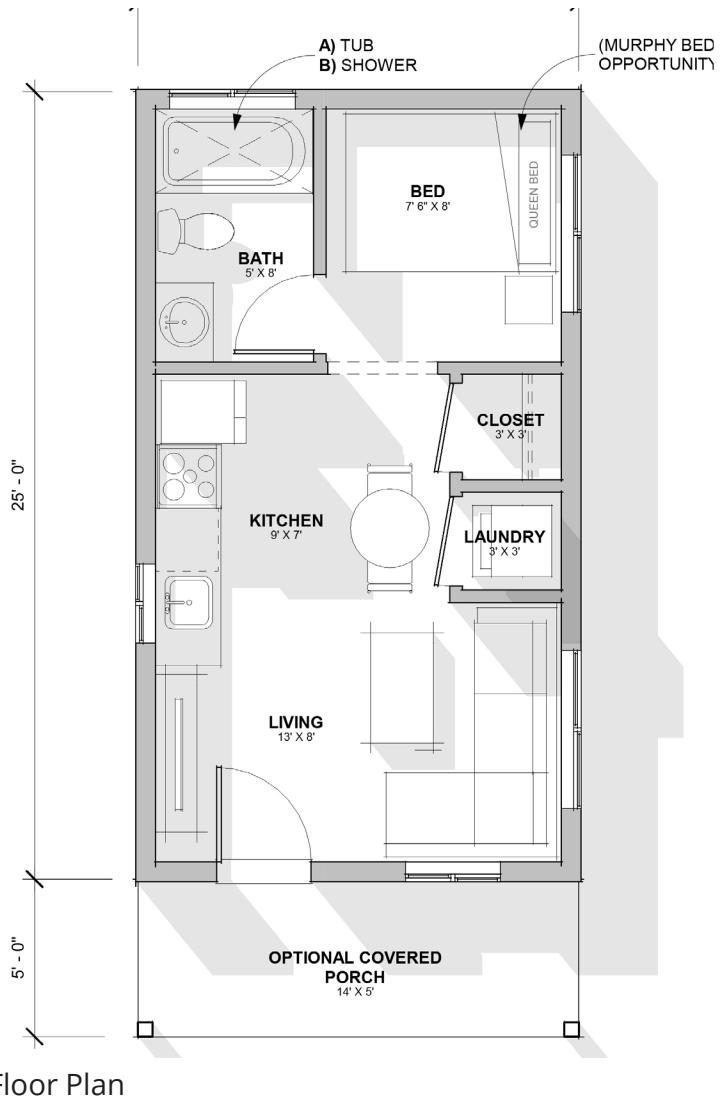
The optional covered porch measures at approximately 15 feet by 5 feet, for a total area of 75 square feet.

The California Ranch architectural style is characterized by:

- Covered porch
- Wood porch columns
- Brick wainscot
- Wood treatments
- Asphalt shingle roof



Perspective View



Floor Plan

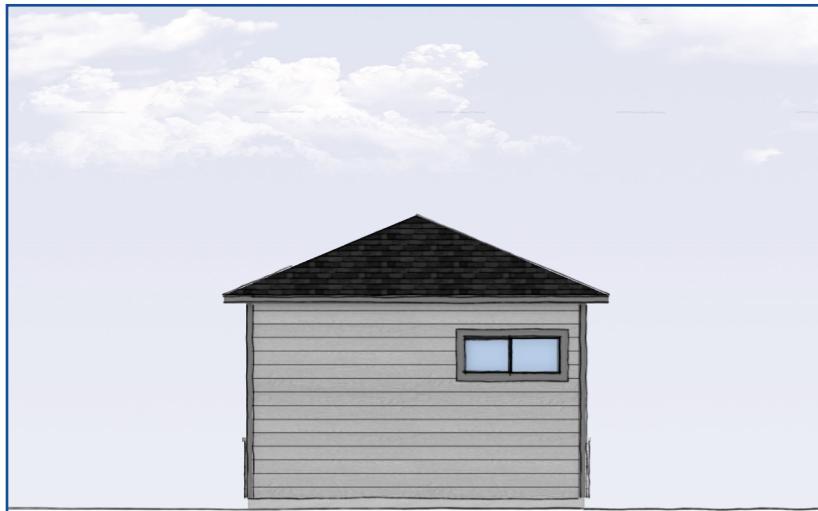
California Ranch - Plan 1



Front Elevation



Right Elevation



Back Elevation



Left Elevation

Modern Farmhouse - Plan 1

Plan 1 for the Modern Farmhouse is a 350 square foot studio with one bathroom. The unit has designated space for a washer/dryer with the ability to choose between a tub or shower and either a covered or uncovered porch.

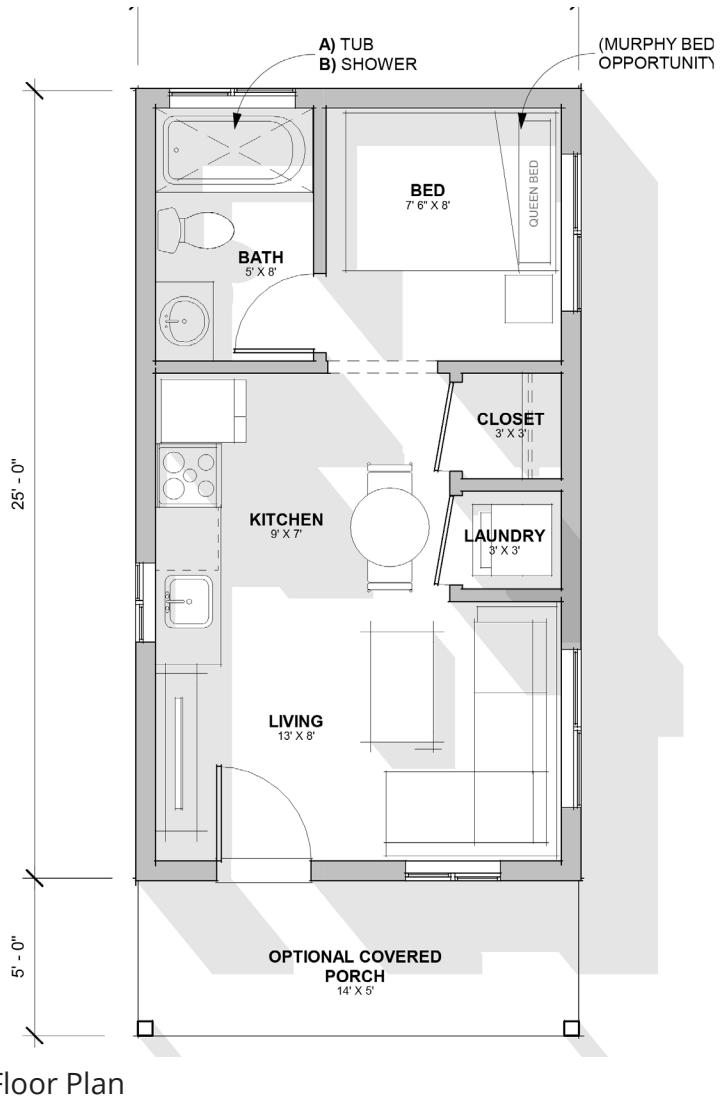
The optional covered porch measures at approximately 15 feet by 5 feet, for a total area of 75 square feet.

The Modern Farmhouse architectural style is characterized by:

- Covered porch
- Wood porch columns
- Brick wainscot
- Decorative trim
- Asphalt shingle roof

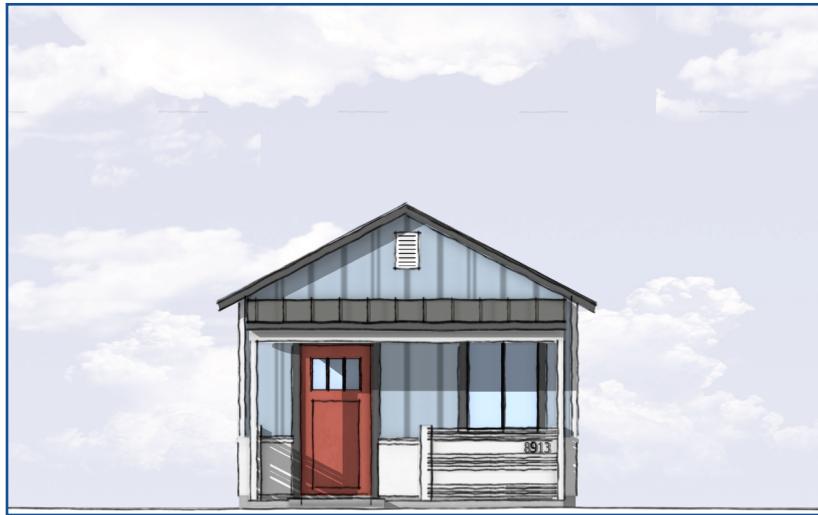


Perspective View



Floor Plan

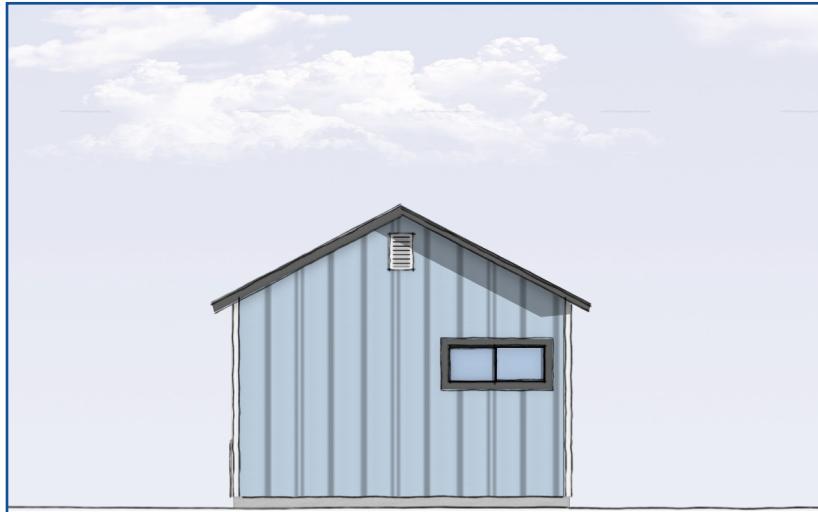
Modern Farmhouse - Plan 1



Front Elevation



Right Elevation



Back Elevation



Left Elevation

Mediterranean - Plan 1

Plan 1 for the Mediterranean is a 350 square foot studio with one bathroom. The unit has designated space for a washer/dryer with the ability to choose between a tub or shower and either a covered or uncovered porch.

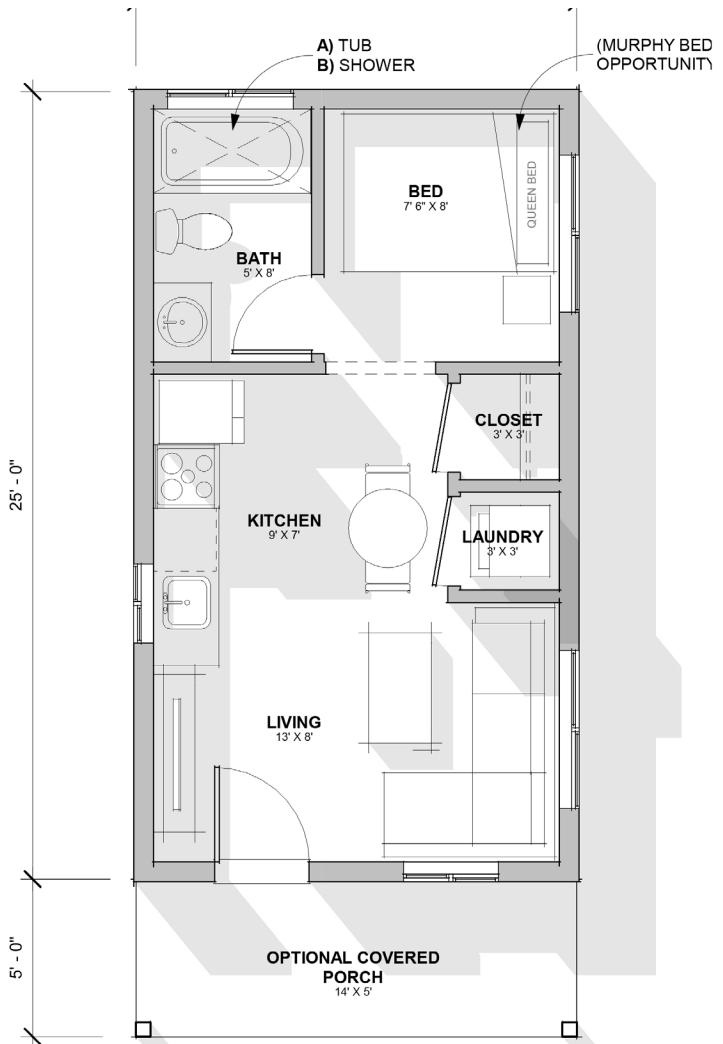
The optional covered porch measures at approximately 15 feet by 5 feet, for a total area of 75 square feet.

The Mediterranean architectural style is characterized by:

- Covered porch
- Smooth Stucco Finishes on siding columns
- Clay tile Roof
- Iron Wrought Detailing
- Decorative exterior sconce
- Minimal eaves



Perspective View



Floor Plan

Mediterranean - Plan 1



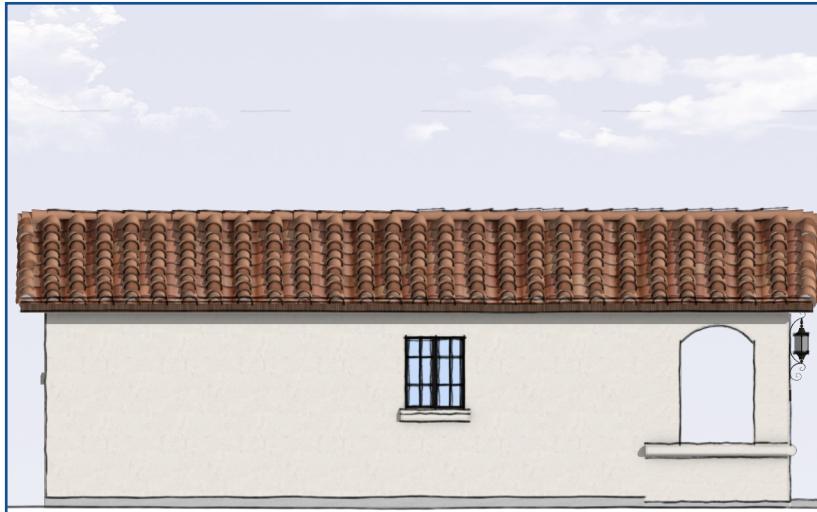
Front Elevation



Right Elevation



Back Elevation



Left Elevation

California Ranch - Plan 2

Plan 2 for the California Ranch is a 532 square foot ADU that includes one bedroom with an accompanying bathroom. The unit includes a walk-in-closet with a full kitchen and living area.

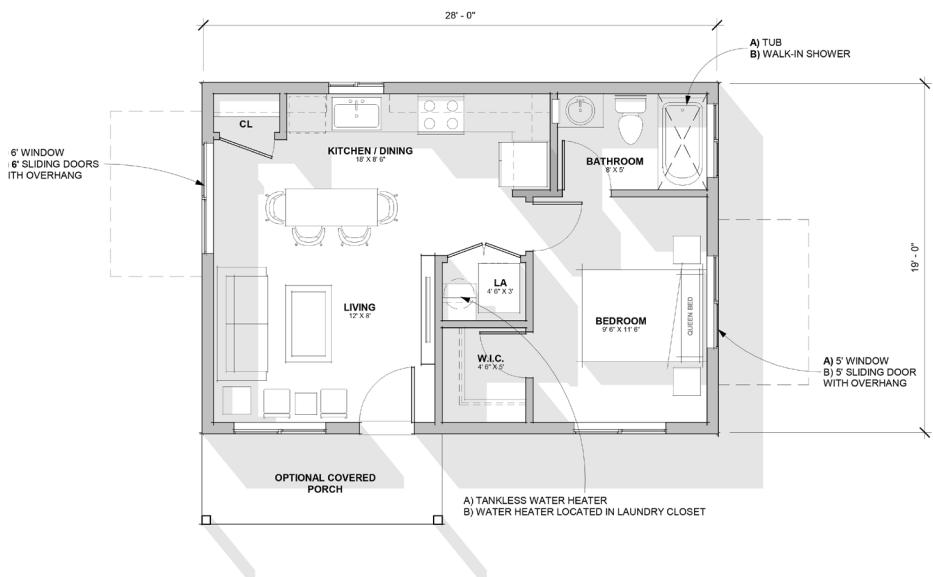
The covered porch is optional and measures approximately 5 feet by 13 feet, for a total area of 65 square feet.

The California Ranch architectural style is characterized by:

- Covered porch
- Wood porch columns
- Brick wainscot
- Wood treatments
- Asphalt shingle roof



Perspective View



Floor Plan

California Ranch - Plan 2



Front Elevation



Right Elevation



Back Elevation



Left Elevation

Modern Farmhouse - Plan 2

Plan 2 for the Modern Farmhouse is a 532 square foot ADU with one bedroom and one bathroom. The unit includes a walk-in-closet with a full kitchen and living area.

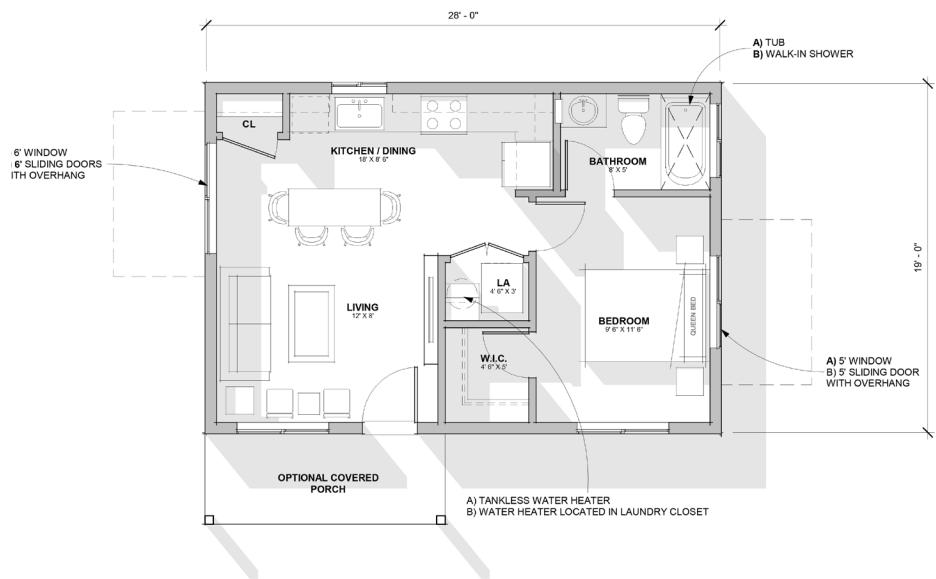
The covered porch is optional and measures approximately 5 feet by 13 feet, for a total area of 65 square feet.

The Modern Farmhouse architectural style is characterized by:

- Covered porch
- Wood porch columns
- Brick wainscot
- Decorative trim
- Asphalt shingle roof



Perspective View



Floor Plan

Modern Farmhouse - Plan 2



Front Elevation



Right Elevation



Back Elevation



Left Elevation

Mediterranean - Plan 2

Plan 2 for the Mediterranean is a 532 square foot ADU with one bedroom and with one bathroom. The unit includes a walk-in-closet with a full kitchen and living area.

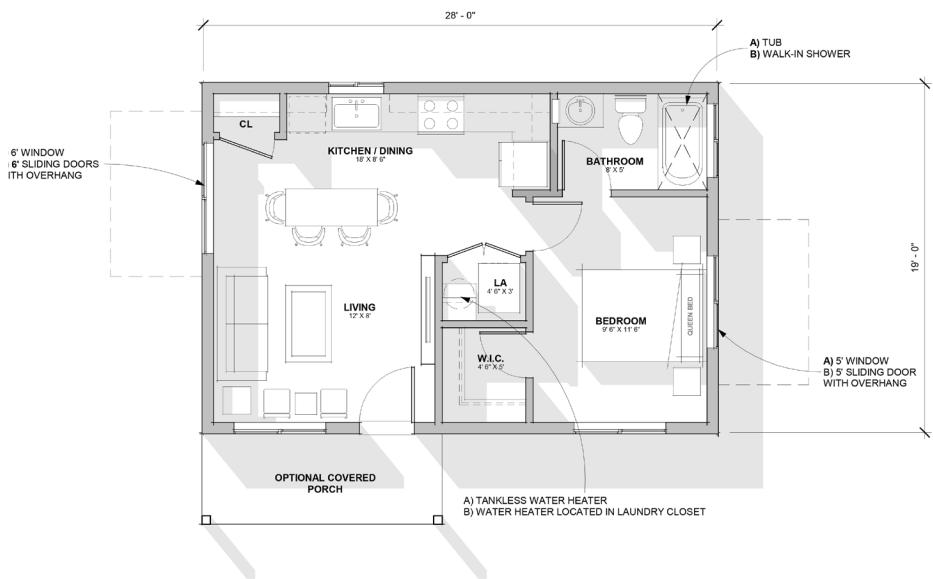
The covered porch is optional and measures approximately 5 feet by 13 feet, for a total area of 65 square feet.

The Mediterranean architectural style is characterized by:

- Covered porch
- Smooth Stucco Finishes on siding columns
- Clay tile Roof
- Iron Wrought Detailing
- Decorative exterior sconce
- Minimal eaves



Perspective View



Floor Plan

Mediterranean - Plan 2



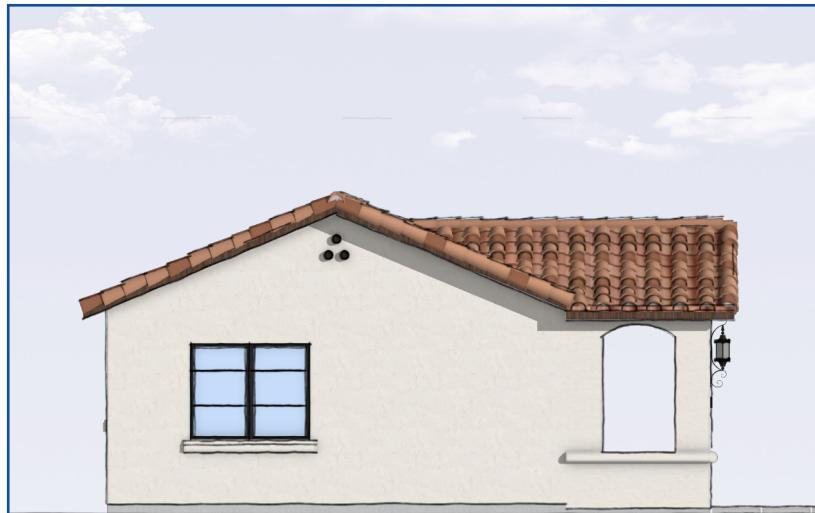
Front Elevation



Right Elevation



Back Elevation



Left Elevation

California Ranch - Plan 3

Plan 3 for the California Ranch is a 757 square foot ADU with two bedrooms and one bathroom. The bedrooms are located at each end of the unit with the kitchen and living space situated between.

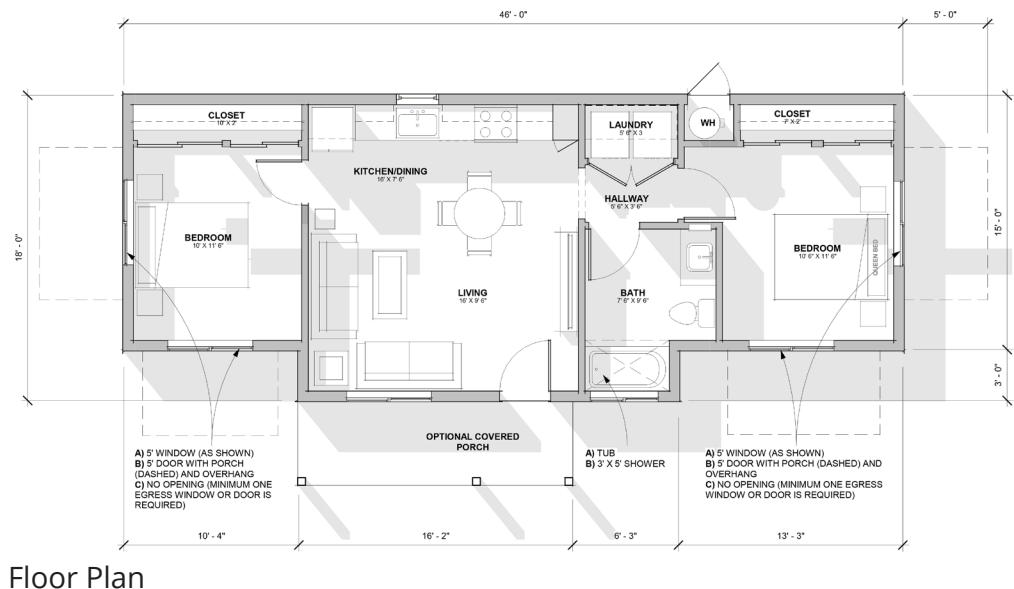
The covered porch is optional and measures approximately 5 feet by 16 feet and 2 inches, for a total area of 81 square feet.

The California Ranch architectural style is characterized by:

- Covered porch
- Wood porch columns
- Brick wainscot
- Wood treatments
- Asphalt shingle roof



Perspective View



Floor Plan

California Ranch - Plan 3



Front Elevation



Right Elevation



Back Elevation



Left Elevation

Modern Farmhouse - Plan 3

Plan 3 for the Modern Farmhouse is a 757 square foot ADU with two bedrooms and one bathroom. The bedrooms are located at each end of the unit with the kitchen and living space situated between.

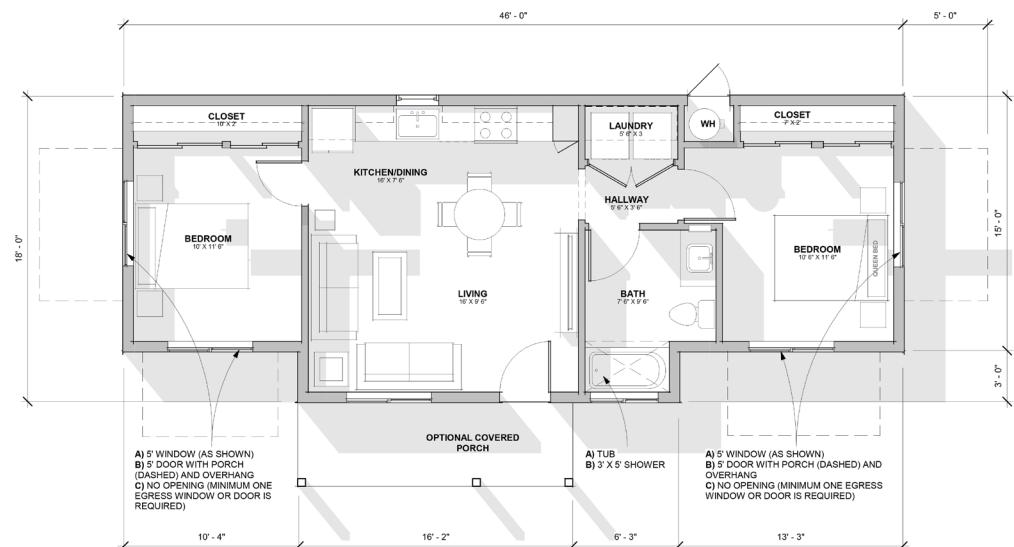
The covered porch is optional and measures approximately 5 feet by 16 feet and 2 inches, for a total area of 81 square feet.

The Modern Farmhouse architectural style is characterized by:

- Covered porch
- Wood porch columns
- Brick wainscot
- Decorative trim
- Asphalt shingle roof



Perspective View



Floor Plan

Modern Farmhouse - Plan 3



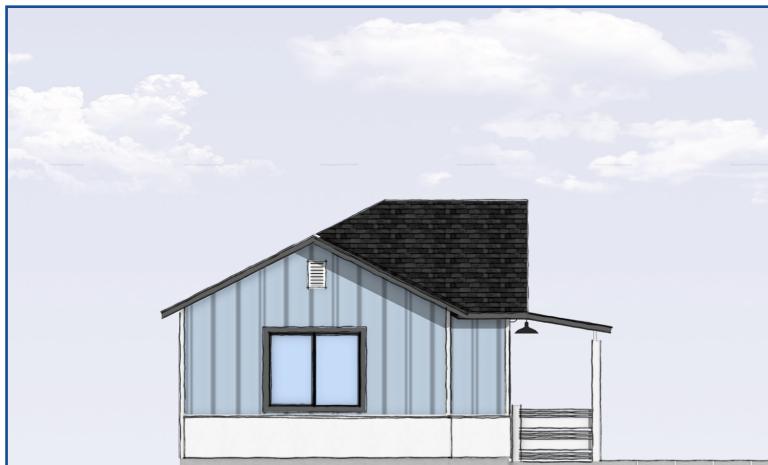
Front Elevation



Right Elevation



Back Elevation



Left Elevation

Mediterranean - Plan 3

Plan 3 for the Mediterranean is a 757 square foot ADU with two bedrooms and one bathroom. The bedrooms are located at each end of the unit with the kitchen and living space situated between.

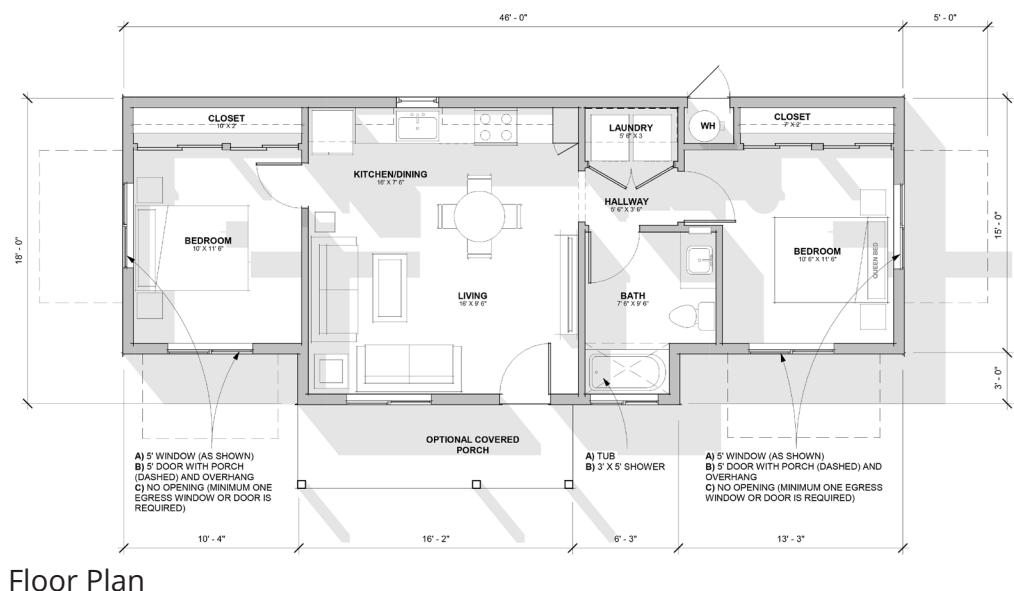
The covered porch is optional and measures approximately 5 feet by 16 feet and 2 inches, for a total area of 81 square feet.

The Mediterranean architectural style is characterized by:

- Covered porch
- Smooth Stucco Finishes on siding columns
- Clay tile Roof
- Iron Wrought Detailing
- Decorative exterior sconce
- Minimal eaves

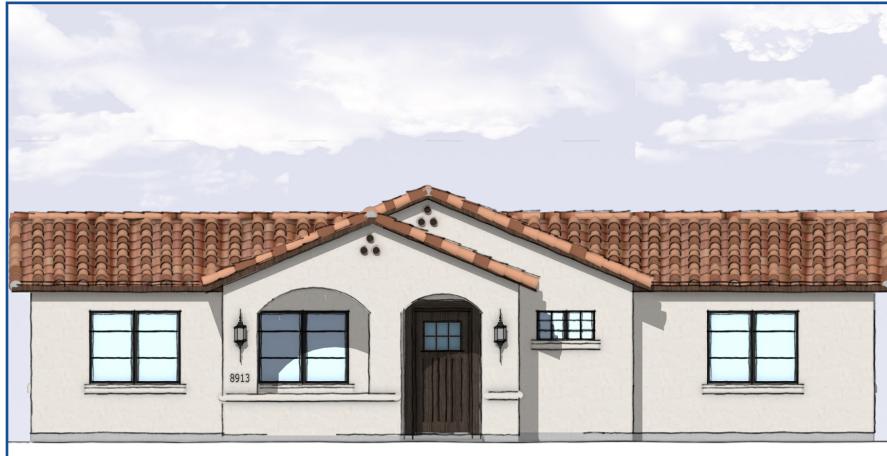


Perspective View



Floor Plan

Mediterranean - Plan 3



Front Elevation



Right Elevation



Back Elevation



Left Elevation

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Section 4

ADU Requirements Checklists



ADU Site Plan Requirements

Form 218 - ADU/JADU Submittal was created by the City of Laguna Niguel to assist future applicants on necessary documentation needed for project submittals. Within this document, the City lists specific items that need to be included on the proposed site plan. The following items need to be shown on site plan submittals.

| | | | |
|--------------------------|--------------------------|--------------------------|--|
| <input type="checkbox"/> | Street Address Exhibit | <input type="checkbox"/> | Property Lines |
| <input type="checkbox"/> | APN / Zoning Information | <input type="checkbox"/> | Setbacks to Property Lines |
| <input type="checkbox"/> | Contact Information | <input type="checkbox"/> | Top or Toe of Existing Slope |
| <input type="checkbox"/> | Scope of Work | <input type="checkbox"/> | Setbacks from ADU/JADU to Top or Toe of Existing Slope |
| <input type="checkbox"/> | Existing Site Plan | <input type="checkbox"/> | Location of Existing/Proposed Walls or Fences |
| <input type="checkbox"/> | Proposed Site Plan | <input type="checkbox"/> | Easements on Property |

Section 5

Frequently Asked Questions



Frequently Asked Questions (FAQs)

Are there parking requirements for ADUs?

Additional off-street parking is not required for Junior Accessory Dwelling Units (JADUs) or existing space converted into an Accessory Dwelling Unit (ADU); however, attached ADUs and detached ADUs require one additional parking space that can be in the driveway. There are exceptions for projects within a 1/2-mile walk of a major transit stop.

How many ADUs are allowed on one lot?

Current lots with an existing single-family residence may add either one detached ADU or attached ADU per lot, or convert existing space into one ADU. In addition to the detached, attached, or converted ADU, single-family residences may include a JADU.

What is the maximum square footage my ADU can be?

Attached and detached ADUs shall be limited to no more than 850 square feet for units with zero to one bedrooms, and 1,000 square feet for units with two or more bedrooms. The square footage of an attached ADU shall not exceed 50 percent of the habitable area of the existing primary residence or 800 square feet.

Can the ADU be used for short-term rentals?

ADUs are prohibited from being used as short-term rental properties and must be rented for a minimum of 30 consecutive days or longer.

Is my ADU required to look similar to the main residence?

Yes. The architectural styles available in the Pre-Approved Program were selected to be consistent with the style of existing residences within the City. Available styles include California Ranch, Modern Farmhouse, and Mediterranean. Applicants are responsible for selecting styles that most closely resemble their existing residence.

Frequently Asked Questions (FAQs)

Am I required to provide fire sprinklers?

Attached or detached ADUs are not required to provide fire sprinklers unless they are required for the primary residence. If an attached or detached ADU is constructed, the primary residence is not required to add fire sprinklers.

Do ADUs require new sewer or water service connections?

No. Water and sewer service can be connected to the primary residence's water and sewer lines.

How tall can my ADU be?

ADUs can be a maximum of 16 feet; however, detached ADUs can go up to a maximum of 18 feet if the proposed or multifamily dwelling unit is within one-half mile walking distance of a major transit stop or a high quality transit corridor. The ADU may be an additional two feet in height to accommodate a roof pitch.

What are the minimum setbacks?

The setbacks will depend on your property's underlying zoning district. Front yards setbacks can range from 0-20 feet, side yard setbacks can range from 0-8 feet, and rear yard setbacks can range from 0-25 feet.

Am I responsible for producing my own site plan?

Yes. Applicants will be responsible for selecting their desired ADU size from the three available sizes and deciding the exact location on their respective lot. Placement of the ADU will depend on many factors including existing structures, topography, site access, setbacks, and building separation.